

DRAWING LIST

	DRAWING No.	DRAWING NAME	REVISION
DA	1001	DRAWING LIST	A
DA	1002	COMPLIANCE TABLE	A
DA	1005	SITE PLAN	A
DA	1006	DEMOLITION PLAN	A
DA	1011	SITE ANALYSIS - SITE MAP	A
DA	1012	SITE ANALYSIS - SITE PHOTO	A
DA	1013	SITE ANALYSIS - AERIAL VIEW	A
DA	1014	SITE ANALYSIS - MIACRO MAP 1	A
DA	1015	SITE ANALYSIS - MIACRO MAP 2	A
DA	1016	SITE ANALYSIS - MIACRO MAP 3	A
DA	1017	SITE ANALYSIS - PROPOSED BUILDING MASSING IN STREET VIEW	A
DA	1101	BASEMENT FLOOR PLAN	A
DA	1102	GROUND FLOOR PLAN	A
DA	1103	LEVEL 1	A
DA	1104	LEVEL 2	A
DA	1105	LEVEL 3	A
DA	1106	ROOF FLOOR PLAN	A
DA	2001	ELEVATION 1	A
DA	2002	ELEVATION 2	A
DA	3001	SECTION A	A
DA	3002	SECTION B	A
DA	3003	DRIVEWAY SECTION	A
DA	5001	PRE + POST ADAPTABLE UNIT LAYOUT	A
DA	6001	SHADOW DIAGRAMS	A
DA	6002	SHADOW DIAGRAMS	A
DA	6021	SUN ANGLE VIEWS 9AM - 21 JUNE	A
DA	6022	SUN ANGLE VIEWS 10AM - 21 JUNE	A
DA	6023	SUN ANGLE VIEWS 11AM - 21 JUNE	A
DA	6024	SUN ANGLE VIEWS 12PM - 21 JUNE	A
DA	6025	SUN ANGLE VIEWS 1PM - 21 JUNE	A
DA	6026	SUN ANGLE VIEWS 2PM - 21 JUNE	A
DA	6027	SUN ANGLE VIEWS 3PM - 21 JUNE	A
DA	7001	GFA CALCULATION	A
DA	7002	ROOM AREA CALCULATION	A
DA	7031	3D VIEWS	A
DA	7041	FINISHES SCHEDULE	A
DA	7051	DEEP SOIL ZONE	A
DA	7091	LEP HEIGHT BLANKET	A

References

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Project

PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

DRAWING LIST

Project Stage

DA Submission

Job no.	Drawing no.	Rev.
J24638D	DA1001	A

Drawn by	Checked by	Approved by	Date
.	RJ	RJ	APRIL, 2025

XXX LOCAL ENVIRONMENTAL PLAN XXX

SITE AREA	1393.546m²
ZONING	R4
COUNCIL	BANKSTOWN AND CATERBURY COUNCIL
LOT / DP No.	DP 21715
FSR	1.1:1 (10% BONUS OF AHSEEP)
HEIGHT OF BUILDING	13.0m
HERITAGE	NOT AFFECTED
ACID SULPHATE SOILS	CLASS 5
KEY SITE	NOT AFFECTED
FLOOD PLANNING AREA	NOT AFFECTED
LAND RESERVATION ACQUISITION	NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY	NOT AFFECTED
FORESHORE BUILDING LINE	NOT AFFECTED

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE	R4
SITE AREA	1393.546m²
PERMISSIBLE FLOOR SPACE RATIO	1.1:1 (WITH 10% BONUS)
PERMISSIBLE GFA	1532.9m²
PROPOSED FLOOR SPACE RATIO	1.099:1
TOTAL GFA	1531m²

DCP CRITERIA		DESCRIPTION		TARGET	PROPOSED	COMPLY?
Overall Sunlight Access to Living Rooms & Private Open Space	70%	70% min. 3 hours direct sunlight between 8 am and 4 pm at mid-winter Sydney Metropolitan Area and in the Newcastle and Wollongong LGA		Complied Unit :36 Total Units : 52 Passing Rate : 70%	Complied Unit : 36 Total Units : 52 Passing Rate : 70%	Yes ✓
Minimum Room Sizes	-	Single	12-25m² (Excluding Kitchen & Bathroom)	To comply	All room complied	Yes ✓
		2 Adult	16-25m² (Excluding Kitchen & Bathroom)			
Manager Room	-	If the boarding house has capacity to accommodate 20 or more lodgers, a boarding room or on-site dwelling will be provided for a manage		To comply	Proposed on G/F	Yes ✓
Private Open Space For Manager	-	One area of at least 8m² with a minimum dimension of 3m for the use of the lodgers		8m²	10.6m²	Yes ✓
Communal Living Room	-	If a boarding house has 5 or more boarding rooms, at least one communal living room will be provided		To comply	Proposed on G/F & 3/F	Yes ✓
		At least 1 room receive a minimum of three hours direct sunlight between 8.00am and 4.00pm at the mid-winter solstice		3 hours	5 hours	Yes ✓
Deep Soil Zone	7%	7% of site area on site		Site Area :1393.5m²	Site Area :1393.5m²	Yes ✓
		Minimum dimensions	Site area 650m - 1500m² ; 3m Site area > 1500m² ; 6m	Min Deep Soil Area :97.5m²	Proposed Deep Soil Area :347.529m²	
Communal Open Space (C.O.S.)	25%	25% of site area (50% of C.O.S. should receive sunlight access for a 2 hours between 9 am and 3 pm on 21 June)		Site Area :1393.5m² Min C.O.S Area :348.38m²	Site Area :1393.5m² Proposed C.O.S Area :379.8m²	Yes ✓
Minimum Landscape Area	45%	a minimum 45% of the area between the boarding house and the primary & secondary street frontage		Primary Frontage Area :182.48m² Min Area(45%) :82.116m² Secondary Frontage Area :240.374m² Min Area(45%) :108.17m²	Primary Frontage Area :182.48m² Proposed Area :182.48m² (100%) Secondary Frontage Area :270.75m² Proposed Area :134.32m² (49%)	Yes ✓

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SOLAR ACCESS LEGEND

TOTAL No. OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm
52 UNITS	36.4 UNITS (70%)	38 UNITS (73.08%)

WASTE CALCULATION

	RATE OF WASTE	TOTAL WASTE	BIN SIZE	NO. OF BINS COMPLIANCE REQUIRED	NO. OF BINS PROPOSED
RESIDENTIAL (52 UNITS)					
WASTE	100L/WEEK	5200/WEEK	240L	10.83	11
RECYCLE	90L/WEEK	4680/WEEK	240L	9.75	10
GREEN	N/A	N/A	240L	2	2
PROPOSED TOTAL					23
GENERAL WASTE BIN RECYCLE BIN GREEN WASTE BIN					

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PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

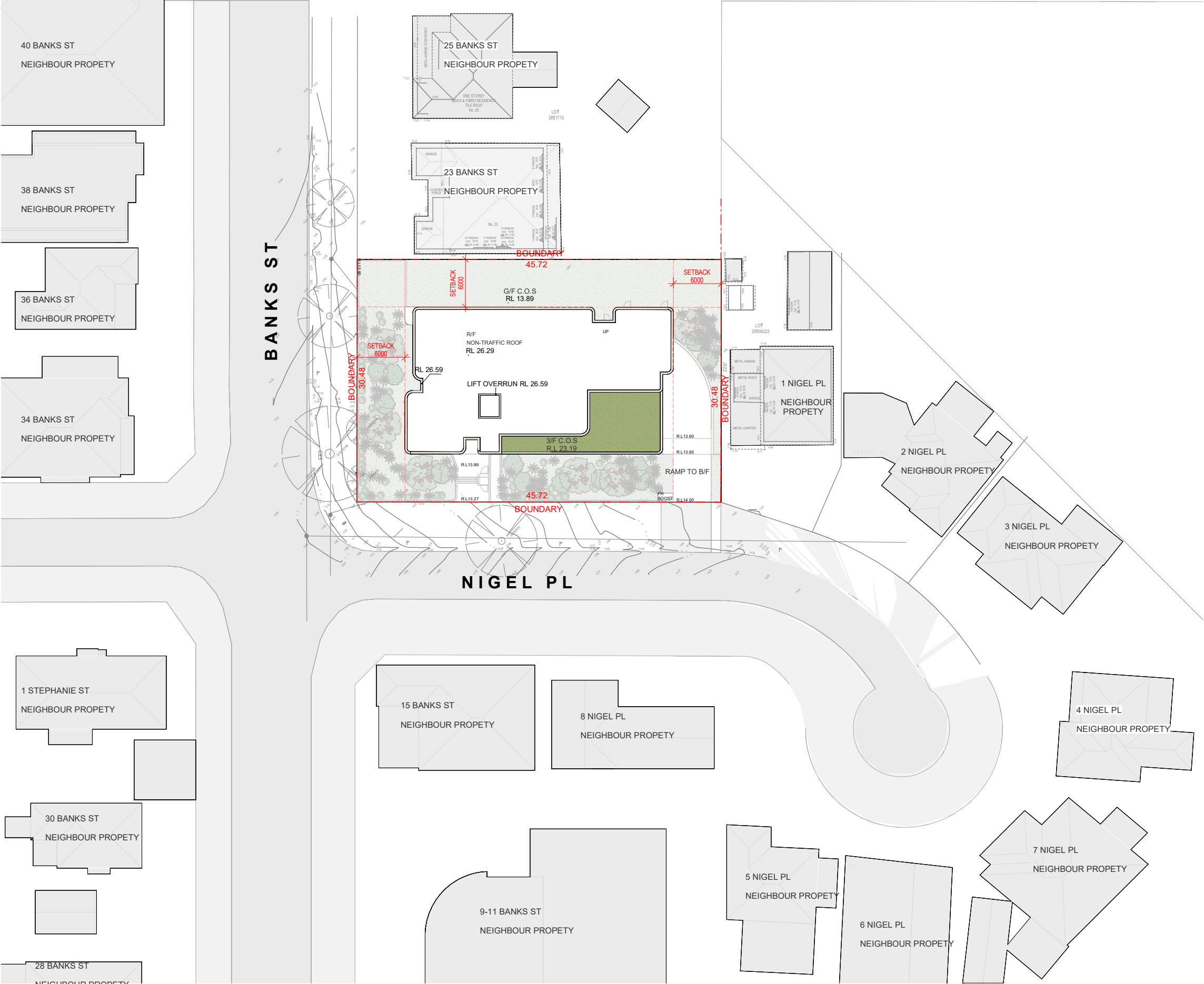
COMPLIANCE TABLE

Project Stage

DA Submission

Job no. Drawing no. Rev.
J24638D DA1002 A

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1 SITE PLAN
1 : 250 at A1 1:500 at A3

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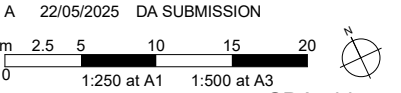
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Project
PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title
SITE PLAN

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J24638D	DA1005	A

Drawn by	Checked by	Approved by	Date
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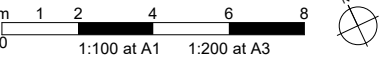
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LEGEND

- TO BE DEMOLISHED
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREES TPZ

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Drawing Title

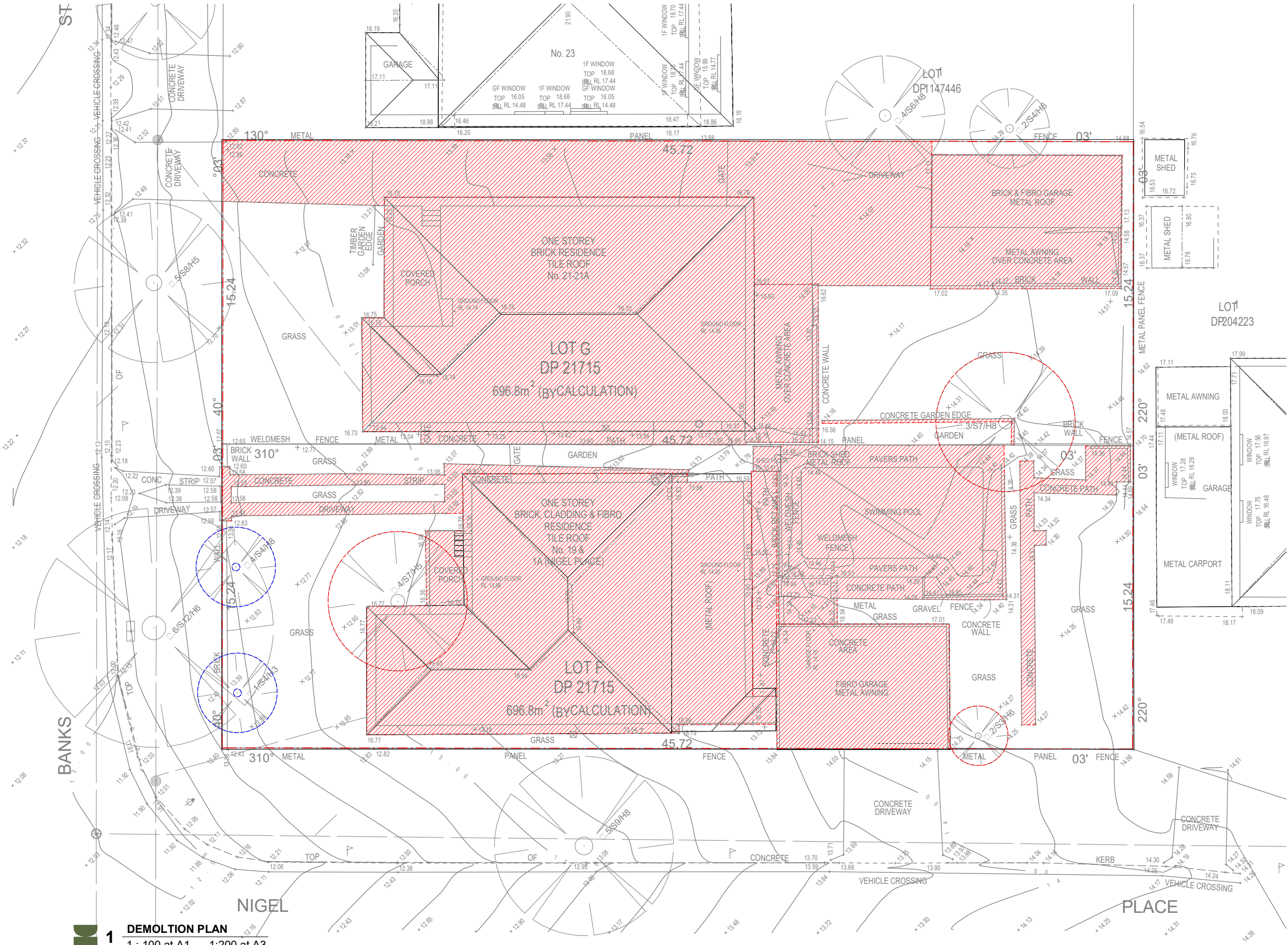
DEMOLITION PLAN

Project Stage

DA Submission

Job no. Drawing no. Rev.
J24638D DA1006 A

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1 DEMOLITION PLAN
1: 100 at A1 1:200 at A3

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**PROPOSED CO-LIVING
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19-21 Banks Street Padstow 2211

Drawing Title

SITE ANALYSIS - SITE MAP

Project Stage

DA Submission

Job no.	Drawing no.	Rev.
J24638D	DA1011	A
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.	RJ	RJ APRIL 2025



PRESPECTIVE VIEW FROM BANKS STREET (SOUTH-WEST)



PRESPECTIVE VIEW FROM NIGEL PLACE (SOUTH-EAST)



PRESPECTIVE VIEW FROM BANKS STREET (NORTH-EAST)



PRESPECTIVE VIEW FROM STEPHANIE STREET (NORTH-WEST)

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m 1 2 4 6 8

0 1:100 at A1 1:200 at A3

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1 SITE PHOTO

Project

**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title

SITE ANALYSIS - SITE PHOTO

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA1012 A

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1 AERIAL VIEW

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PROPOSED CO-LIVING DEVELOPMENT

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Drawing Title

SITE ANALYSIS - AERIAL VIEW

Project Stage

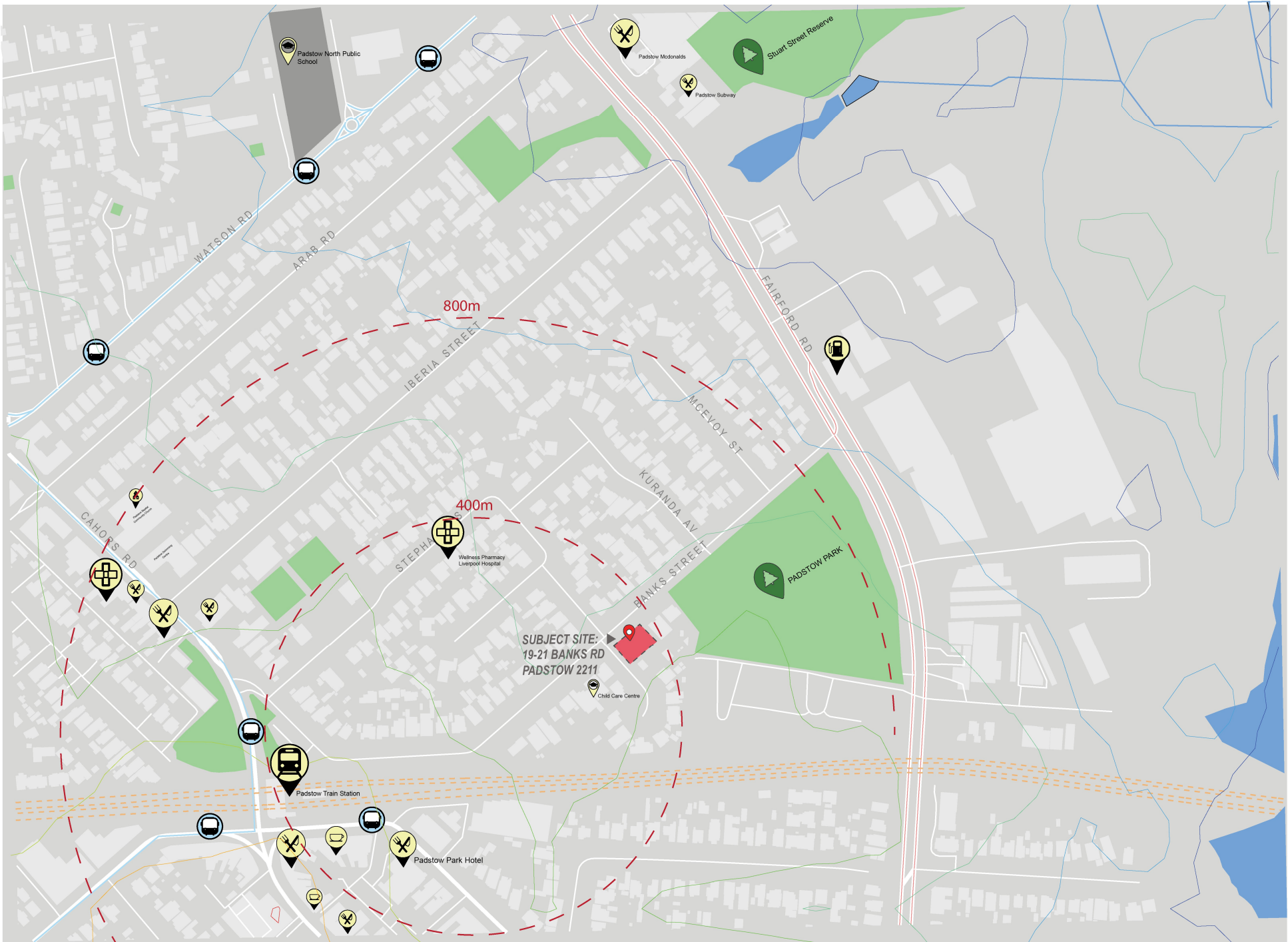
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LEGEND

Church

Restaurant

Cafe

Medical

Bus Stop

Main Road

Bus Line

Railway Line

Station

Petrol Station

5 m Contours

8 m

12 m

15 m

18 m

21 m

25 m

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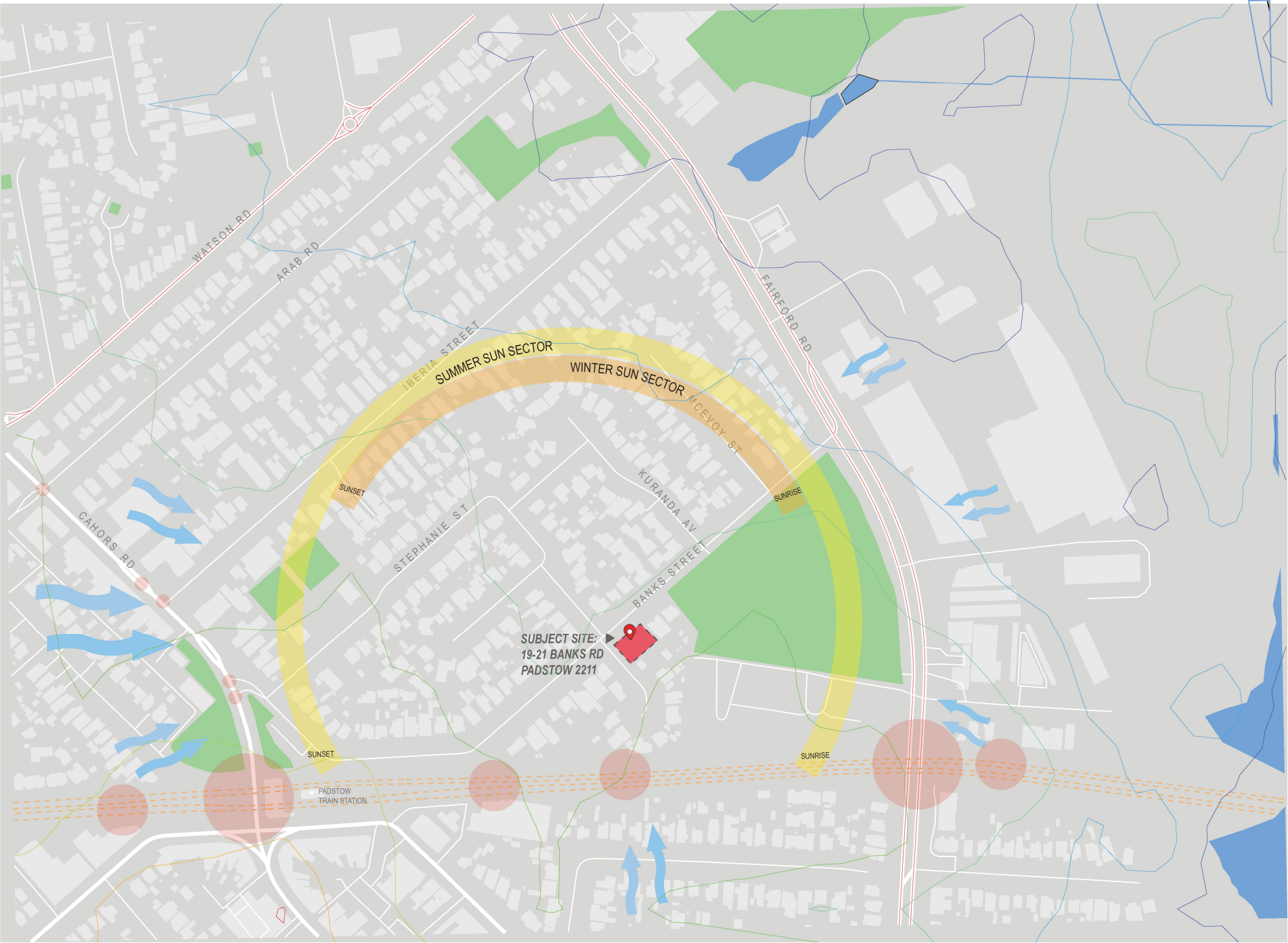
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- LEGEND**
- WIND PATHS
 - SOLAR PATHS
 - VEHICULAR NOISE
 - GREEN SPACE
- 5 m Contours
- 8 m
 - 12 m
 - 15 m
 - 18 m
 - 21 m
 - 25 m

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19-21 Banks Street Padstow 2211
Drawing Title
SITE ANALYSIS - MIACRO MAP 2

Project Stage
DA Submission
Job no. Drawing no. Rev.
J24638D DA1015 A
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LEGEND

Views

Contours

5 m
8 m
12 m
15 m
18 m
21 m
25 m

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PROPOSED CO-LIVING
DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SITE ANALYSIS - MIACRO MAP 3

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA1016 A

Drawn by Checked by Approved by Date

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1 MIACRO MAP 3



PROPOSED MASSING IN PRESPECTIVE VIEW FROM BANKS STREET (SOUTH-WEST)



PROPOSED MASSING IN PRESPECTIVE VIEW FROM STEPHANIE STREET (NORTH-WEST)

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PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SITE ANALYSIS - PROPOSED BUILDING MASSING IN STREET VIEW_{ge}

DA Submission

Job no. Drawing no. Rev.

J24638D DA1017 A

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**CAR PARKING SCHEDULE
METROPOLITAN REGIONAL CENTRE (CBD)**

UNITS (52)	RATE	REQUIRED	PROPOSED
RESIDENTIAL			
1 BED (9)	0.2 SPACE / 1 UNIT	1.8	2
2 BED(42)	0.2 SPACE / 1 UNIT	8.4	9
MANAGER ROOM (1)	1.0 SPACE / 1 UNIT	1	1
TOTAL		11.2	12

BICYCLE SCHEDULE

UNITS (52)	RATE	REQUIRED	PROPOSED
RESIDENTIAL			
	1 SPACE / 5UNITS	10.4	11
TOTAL		10.4	11

MOTORBIKE SCHEDULE

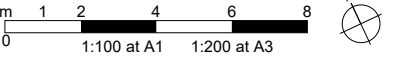
UNITS (52)	RATE	REQUIRED	PROPOSED
RESIDENTIAL			
	N/A	N/A	2
TOTAL		N/A	2

PARKING LEGEND		PARKING COUNT	
	BICYCLE	PARKING SPOT DESCRIPTION	TOTAL
	CARPARK	RESIDENTIAL ACCESSIBLE PARKING	1
	MOTORCYCLE	RESIDENTIAL PARKING	11
		TOTAL PARKING:	12

BIKE PARKING COUNT	
PARKING DESCRIPTION	TOTAL
BICYCLE	11
TOTAL PARKING:	11

MOTORCYCLE PARKING COUNT	
PARKING DESCRIPTION	TOTAL
MOTORCYCLE PARKING	2
TOTAL PARKING:	2

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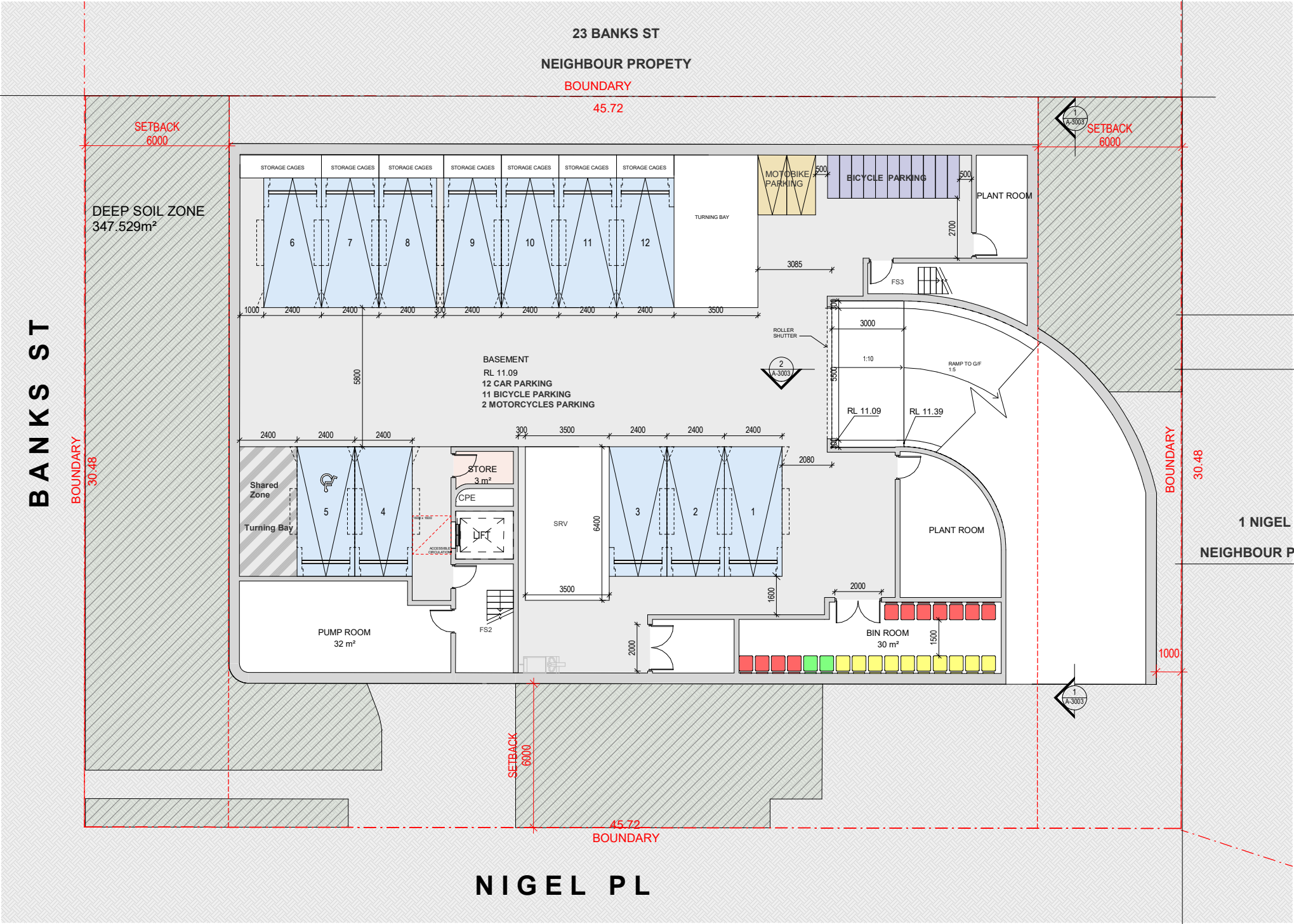


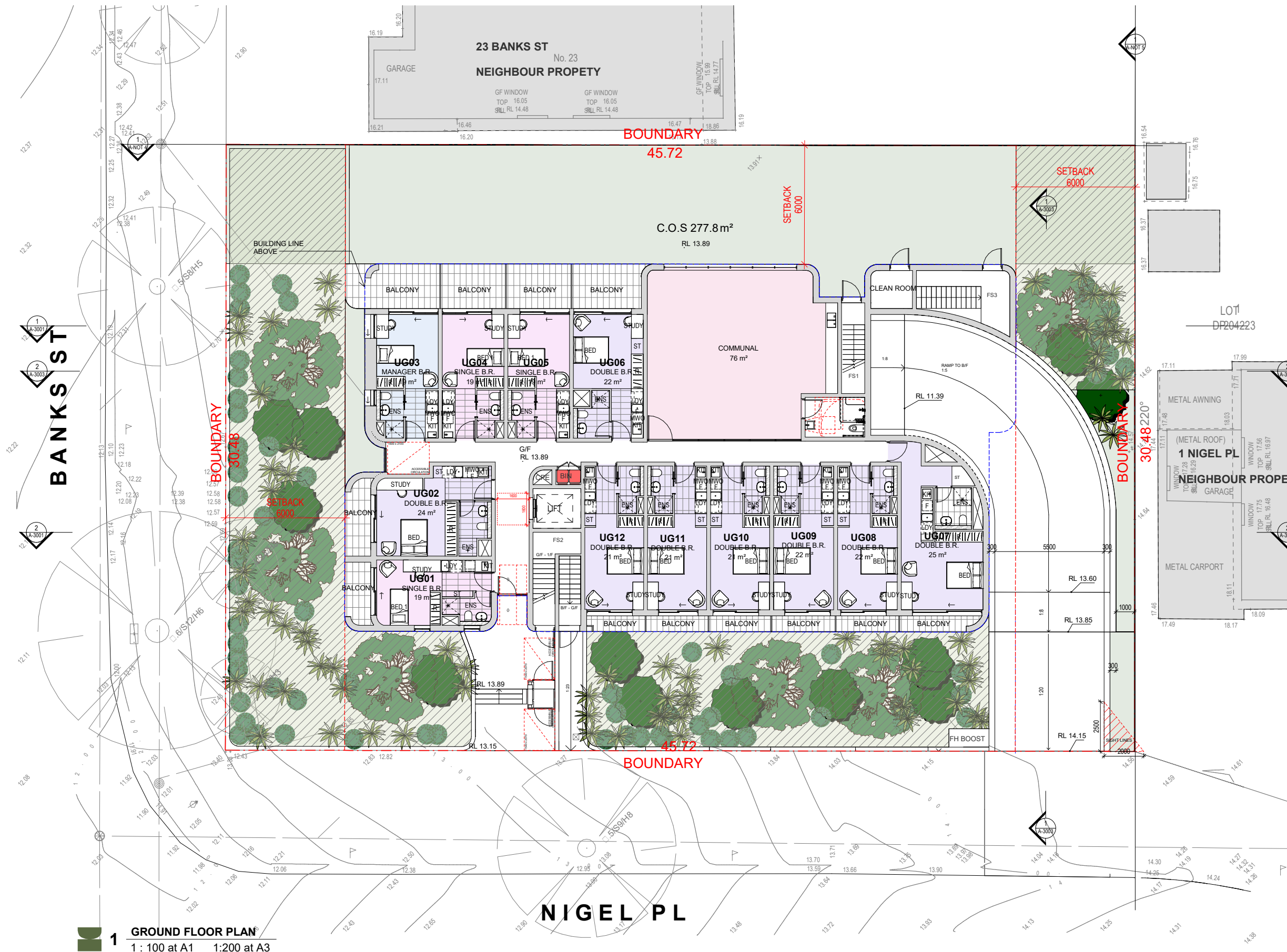
**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

BASEMENT FLOOR PLAN

DA Submission
Job no. Drawing no. Rev.
J24638D DA1101 A
Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025





1 GROUND FLOOR PLAN
1: 100 at A1 1:200 at A3

References
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m 1 2 4 6 8

0 1:100 at A1 1:200 at A3

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Project
PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title
GROUND FLOOR PLAN

Project Stage
DA Submission

Job no. Drawing no. Rev.
J24638D DA1102 A

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1 2 4 6 8
0 1:100 at A1 1:200 at A3

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PROPOSED CO-LIVING
DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

LEVEL 1

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA1103 A

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1

LEVEL 1 FLOOR PLAN

1 : 100 at A1 1:200 at A3

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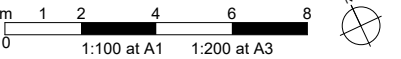
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PROPOSED CO-LIVING
DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

LEVEL 2

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA1104 A

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1

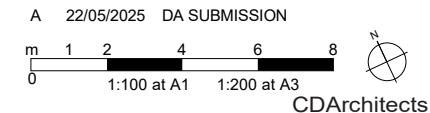
LEVEL 2 FLOOR PLAN

1 : 100 at A1 1:200 at A3



1 LEVEL 3 FLOOR PLAN
1 : 100 at A1 1:200 at A3

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Project
PROPOSED CO-LIVING DEVELOPMENT
19-21 Banks Street Padstow 2211
Drawing Title
LEVEL 3
Project Stage
DA Submission
Job no. Drawing no. Rev.
J24638D DA1105 A
Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025

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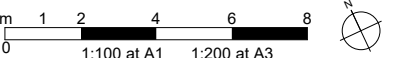
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LEGEND

R.L XX.XX (EXISTING R.L)

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PROPOSED CO-LIVING
DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

ROOF FLOOR PLAN

Project Stage

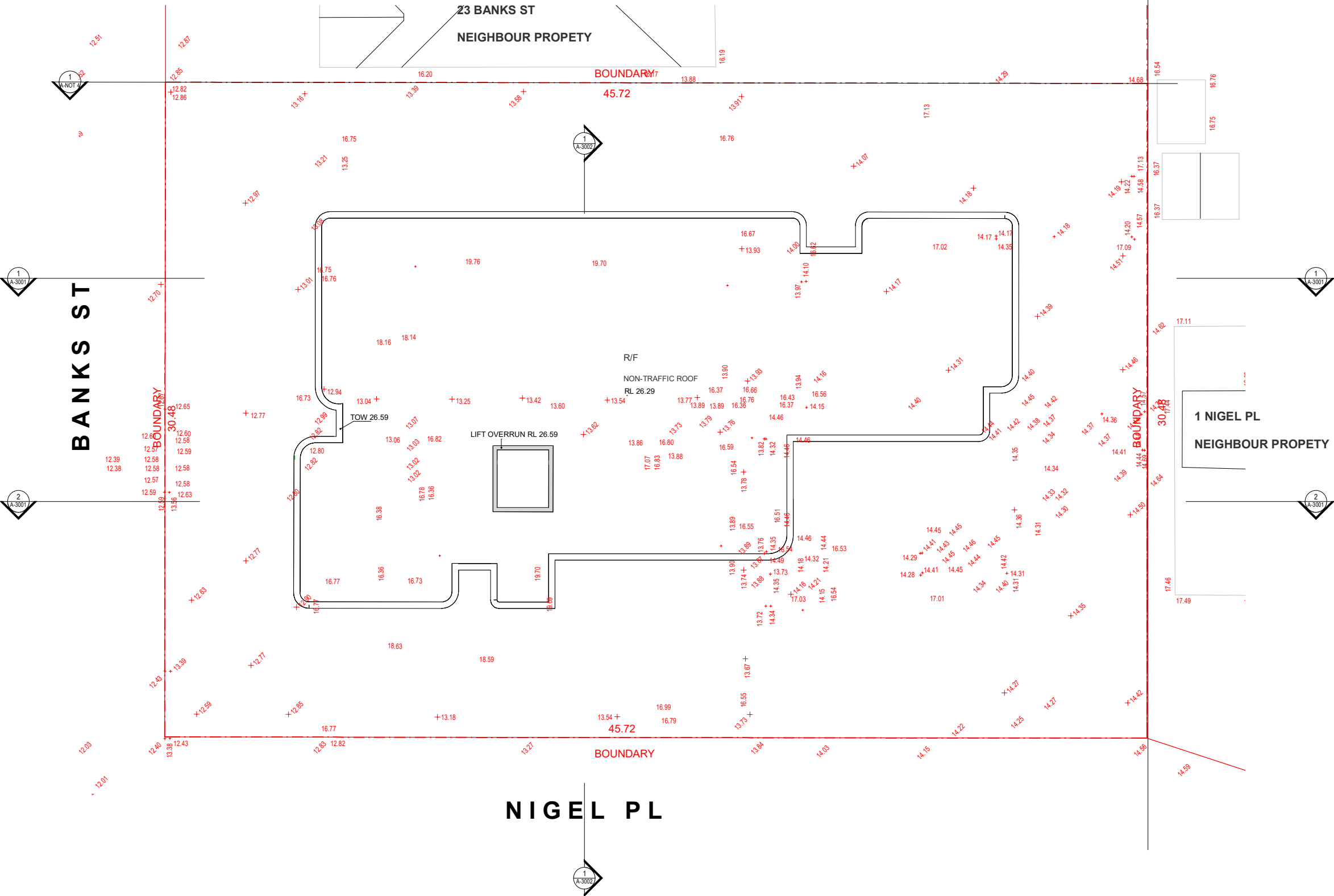
DA Submission

Job no. Drawing no. Rev.

J24638D DA1106 A

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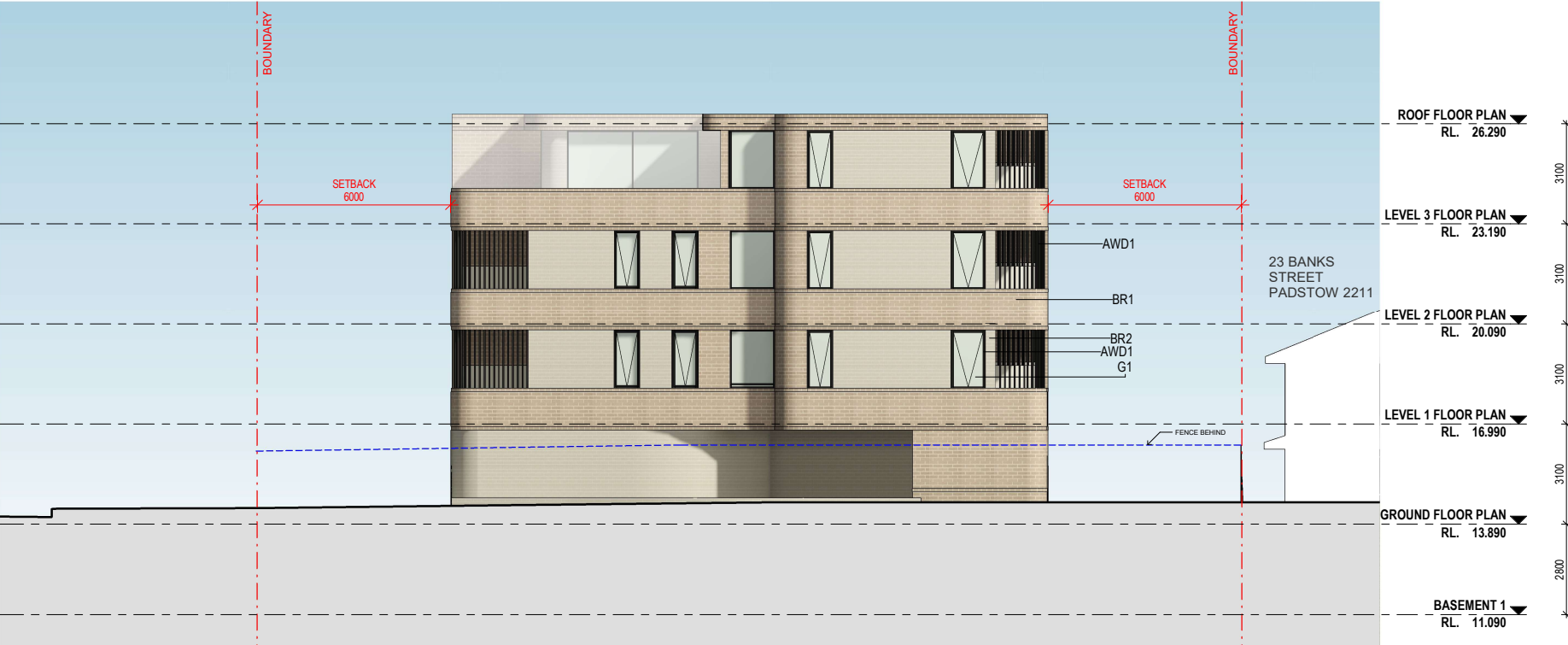
1

ROOF FLOOR PLAN

1 : 100 at A1 1:200 at A3



1 WEST ELEVATION
1 : 100 at A1 1:200 at A3



2 EAST ELEVATION
1 : 100 at A1 1:200 at A3

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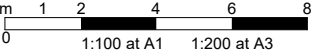
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MATERIAL LEGEND...

	AWD1	DARK GREY ALUMINIUM FRAME WINDOWS & DOORS - COLOUR
	BR1	BROWN BRICK
	BR2	LIGHT BEIGE BRICK
	G1	CLEAR GLASS
	RP1	RENDERED PAIN DULUX WHISPER WHITE
	RP2	BLACK . DULUX MONUMENT

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Project
PROPOSED CO-LIVING DEVELOPMENT
19-21 Banks Street Padstow 2211
Drawing Title
ELEVATION 1

Project Stage
DA Submission
Job no. Drawing no. Rev.
J24638D DA2001 A
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1 South Elevation
1 : 100 at A1 1:200 at A3



2 North Elevation
1 : 100 at A1 1:200 at A3

References

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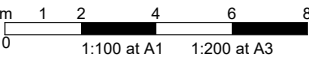
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MATERIAL LEGEND...

AWD1	DARK GREY ALUMINIUM FRAME WINDOWS & DOORS - COLOUR
BR1	BROWN BRICK
BR2	LIGHT BEIGE BRICK
G1	CLEAR GLASS
RP1	RENDERED PAIN DULUX WHISPER WHITE
RP2	BLACK . DULUX MONUMENT

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PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

ELEVATION 2

Project Stage

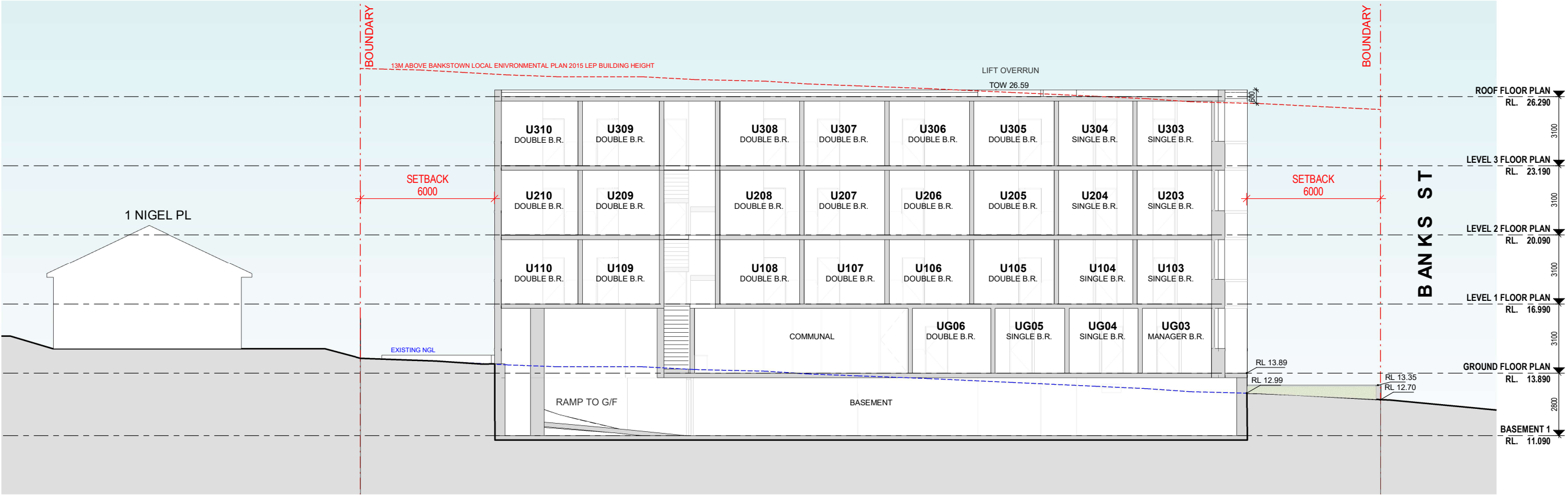
DA Submission

Job no. Drawing no. Rev.

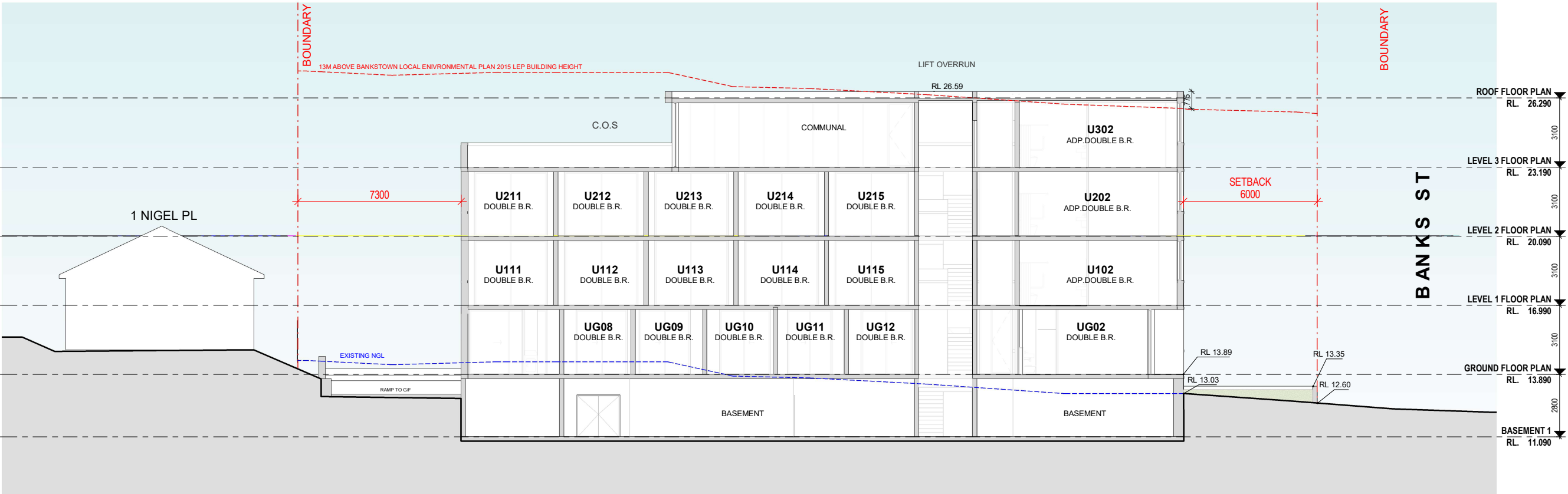
J24638D DA2002 A

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RJ RJ APRIL, 2025



1 SECTION 1
1 : 100 at A1 1:200 at A3



2 SECTION 2
1 : 100 at A1 1:200 at A3

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0 1 2 4 6 8
m

1:100 at A1 1:200 at A3

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Project
PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211
Drawing Title
SECTION A

Project Stage
DA Submission

Job no. Drawing no. Rev.
J24638D DA3001 A

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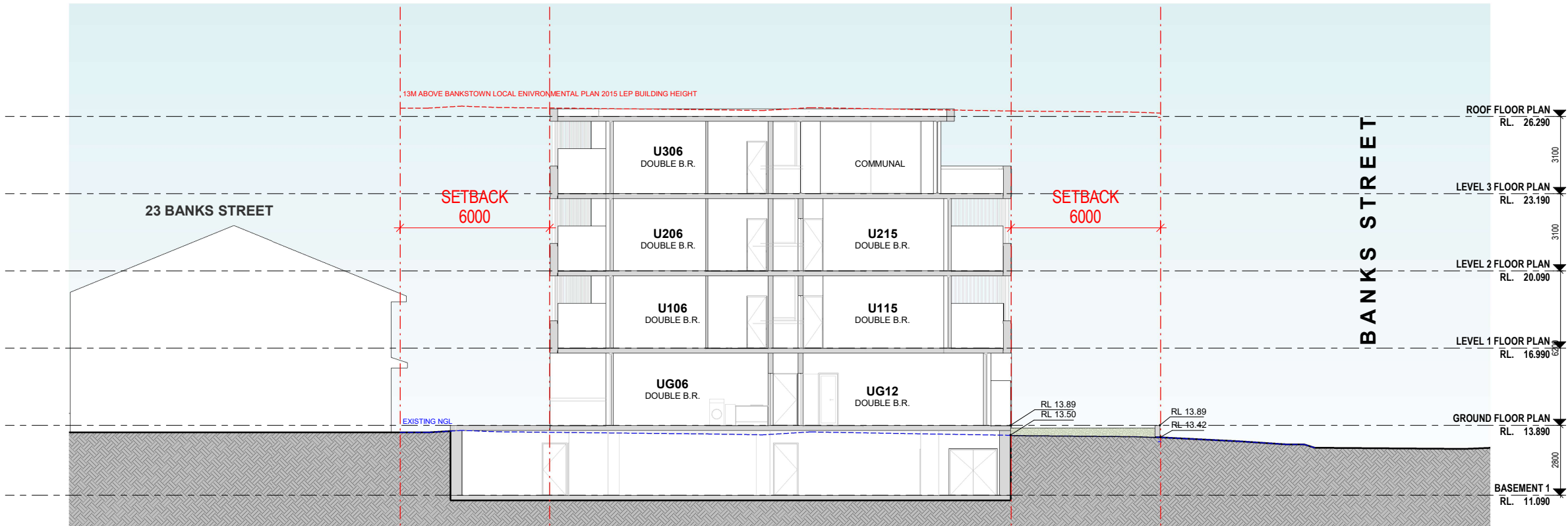
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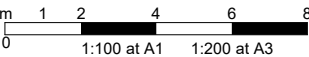
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1 SECTION 3
1 : 100 at A1 1:200 at A3

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**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title

SECTION B

Project Stage

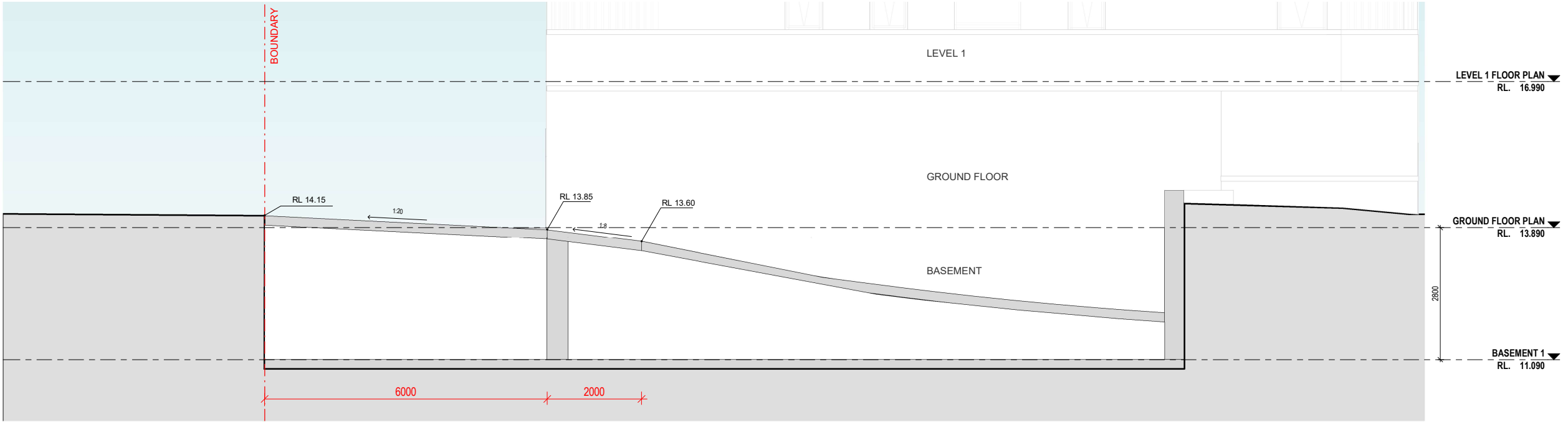
DA Submission

Job no. Drawing no. Rev.

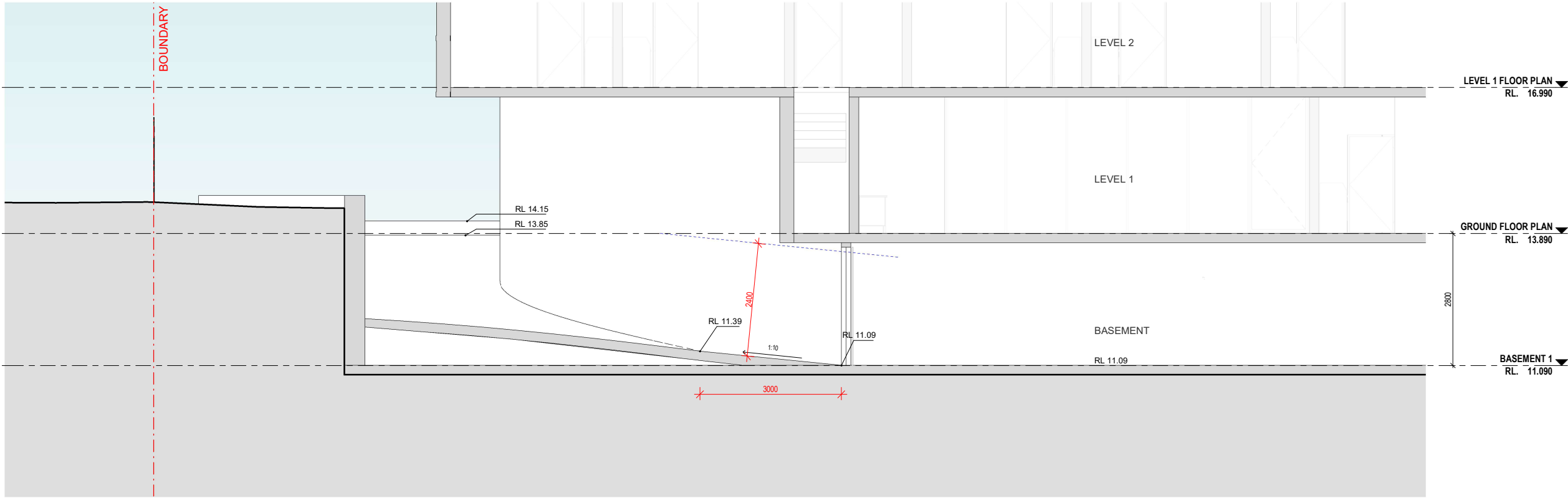
J24638D DA3002 A

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1 DRIVEWAY SECTION1
1 : 50 at A1 1:200 at A3



2 DRIVEWAY SECTION 2
1 : 50 at A1 1:200 at A3

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

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m 1 2 4 6 8
0 1:100 at A1 1:200 at A3

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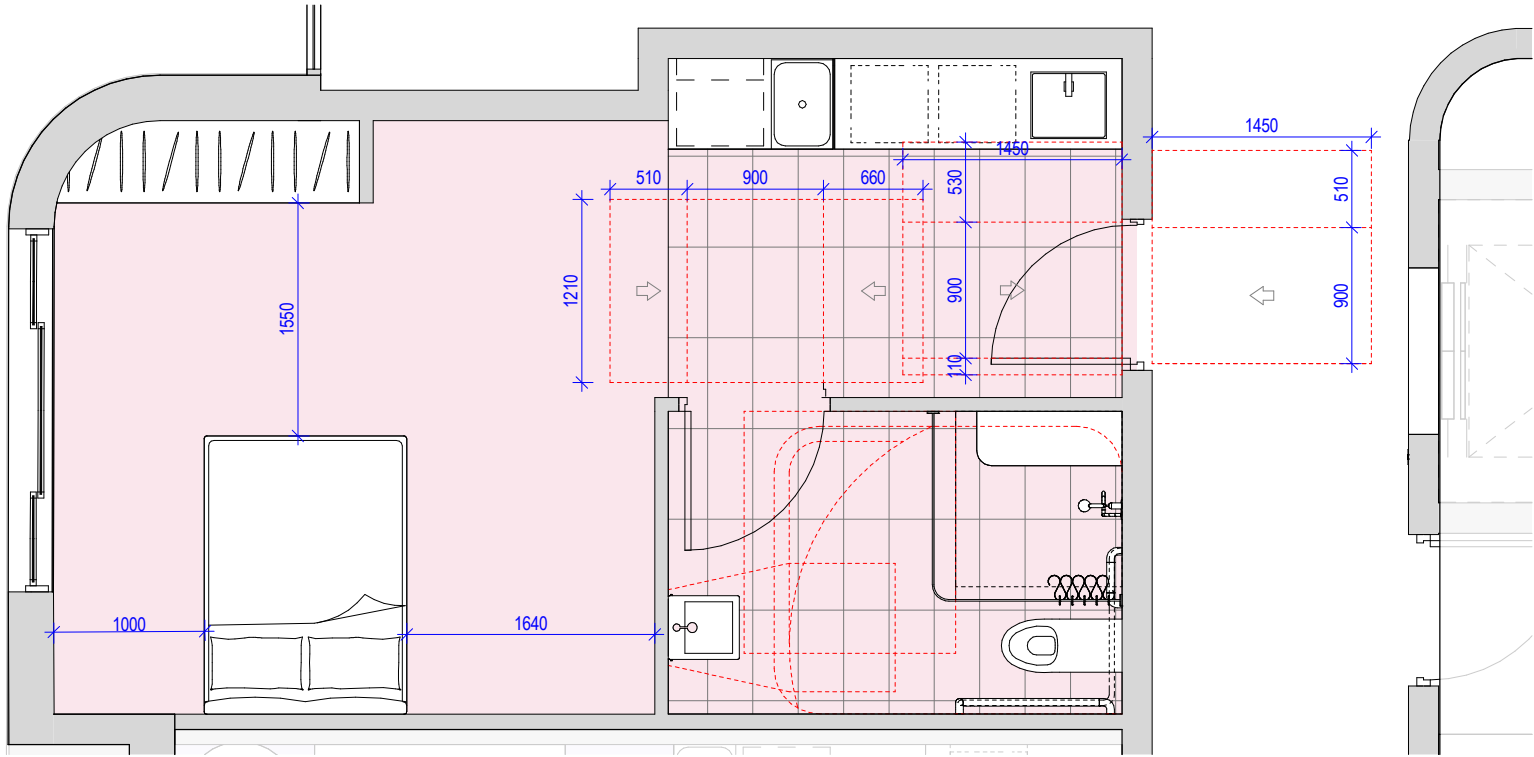
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Project
PROPOSED CO-LIVING DEVELOPMENT
19-21 Banks Street Padstow 2211
Drawing Title
DRIVEWAY SECTION

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J24638D	DA3003	A

Drawn by	Checked by	Approved by	Date
.	RJ	RJ	APRIL, 2025



1 ADAPTABLE UNIT
1 : 25 at A1 1:50 at A3

General

1. All Adaptable Balconies Shall Be Provided With 35mm Step From Inside To Balconies To Ensure Smooth Transition.
 2. General-Plumber To Provide Extra Capped-Off Services To Allow For The Relocation Of Sanitary Fixtures.
 3. In Accessible Sole Occupancy Units, The Light Switches Shall Be 30x30mm Min. Size At A Height To Match The Door Handles. Gpos Shall Be Located Between 600mm And 1100mm Above The Floor And 500mm From An Internal Corner.
- Living And Dining Room
1. Potential Illumination Level Min. 300lux To Be Provided To Comply With As 4299.1995 Clause 4.10
 2. Telephone Adjacent To Gpo To Be Provided To Comply With As 4299.1995 Clause 4.7.4

Kitchen

1. All Post Adaptation Kitchen Appliances Shall Be Installed As Per As4299.1995. Ensure Cook Top And Wall Mounted Oven Have 800mm Bench Space Adjacent.
2. Provide Wall Mounted Oven For Adaptable Units.
3. Cooktops To Include Isolating Switch To Comply With As 4299.1995 Clause 4.5.7.
4. Gpos To Comply With As 4299.1955 Clause 4.5.11.
5. Slip Resistant Floor Surface To Be Provided To Comply With As 4299.1995 Clause 4.5.4.

Bathroom

1. All Bathrooms Shall Have No Hobs To Shower. Ensure Min. 1160mm X 1000mm Shower Zone. Install Accessible Toilet, Basin Grabrails And Shower Seats As Per As1428.1-2009. Ensure All Pre-Adaptation Services Are Sealed.
2. Slip Resistant Floor Surface To Be Provided To Comply Woth As 4299.1995 Clause 4.4.2.
3. Shower Recess - No Hob. Min. Sizw 1160 X 1100mm To Comply With As 4299.1995 Clause 4.4.4. F.
4. Shower Are Waterproofed To As3740 With Floor To Fall Waste Slip Resistant Slip Surface To Be Provided To Comply With As 4299.1995 Clause 4.4.4 F.
5. Is Recessed Soap Holder Is Not Provided A Heavy Duty Load Bearing Soap Holder Will Be Required Slip Resistant Floor Surface To Be Provided To Comply With As 4299.1995 Clause 4.4.4 F.
6. Shower Taps To Be Positioned For Easy Reach To Access Side Of Shower Sliding Track Slip Resistant Floor Surface To Be Provided To Comply With As 4299.1995 Clause 4.4.4 F.
7. Provision For Adjustable, Detachable Hand Held Shower Rose Mounted On A Slider Grabrail Or Fixed Hook Plumbing And Provide Reinforcement To Wall To Take The Grabrails Unless Brick Walls Have Been Provided, To Comply With As 4299.1995 Clause 4.4.4 H.
8. Grabrail In Shower To Be Provided To Comply With As 1428.1 As Per As 4299.1995 Clause 4.4 H.
9. Provision For Washbin With Clearances To Comply With As1428.11. 425mm Is Required From The Side Of The Wall To The Centre Line Of The Basin. Basin Is Required To Be At Least 300mm Away From The Door Swing, To Comply With As 4299.1955 Clause 4.4.4 G.
10. Gpo Bedside Mirror To Be Provided, To Comply With As 4299.1995 Clause 4.4.4 D.
11. Location Of Wc Pan At Correct Distance From Wall 450mm460mm Is Required From The Side Wall To The Centre Line Of The Wc Pan, To Comply With As 4299.1995 Clause 4.4.3.
12. Provision For Grabrail Zone. Reinforcement To Wall To Take The Grabrails Unless Brick Walls Have Been Provided, To Comply With As 4299.1995 Clause 4.4.4 H.
13. Slip Resistant Floor Surface (Vitreous Tiles Or Similar) To Be Provided, To Comply With As 4299.1995 Clause 4.4.2.

Laundry

1. Laundry-Combined Washer/Dryer Units To Be Installed To Addaptable Units If Required As Part Of Adaptation Change.
2. Double Gpo To Be Provided, To Comply With As 4299.1995 Clause 4.8e.
3. Slip Resistant Surface To Be Provided, To Comply With As 4299.1995 Clause 4.9.1.

References

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

LEGEND

ACCESSIBLE CIRCULATION

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Australian Institute of Architects

Project
PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

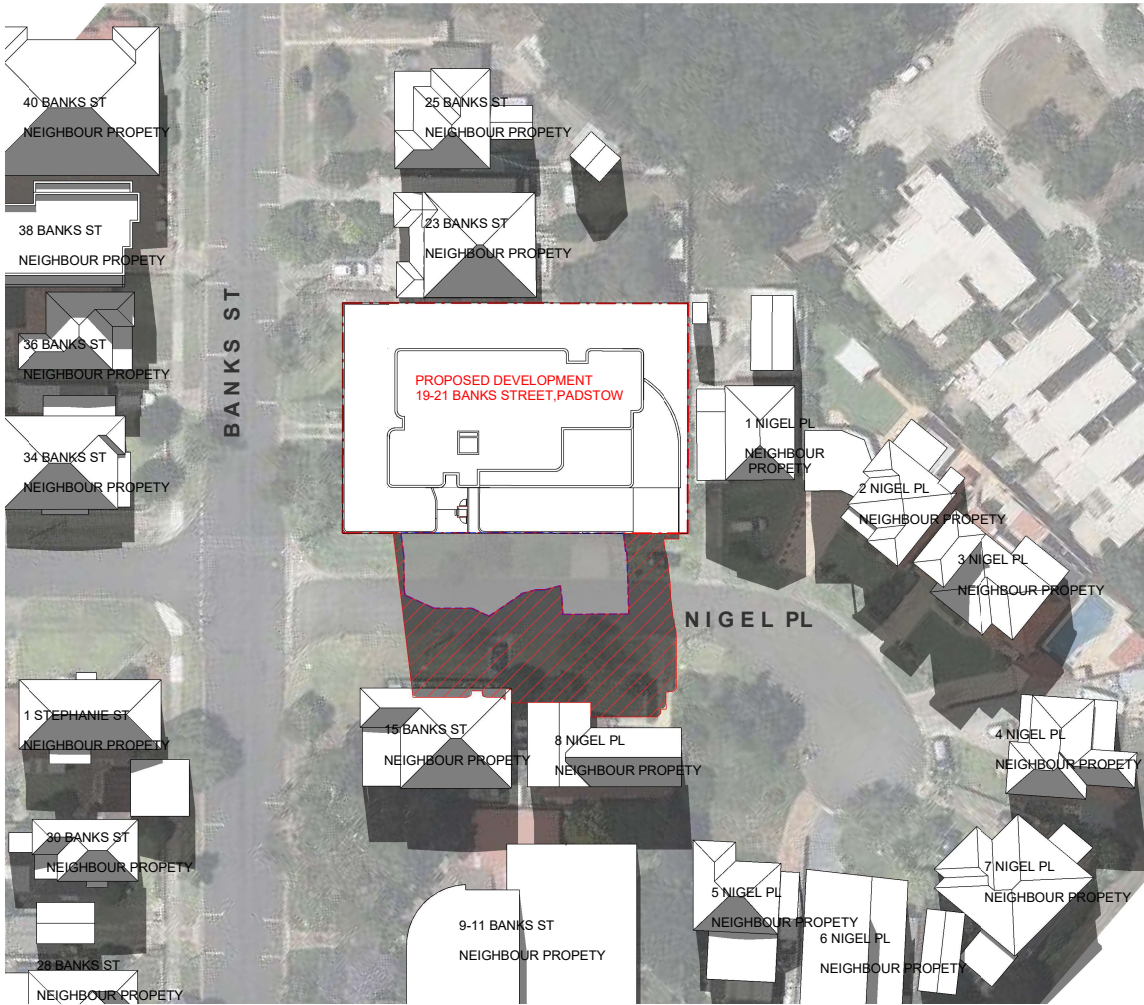
PRE + POST ADAPTABLE UNIT LAYOUT

Project Stage

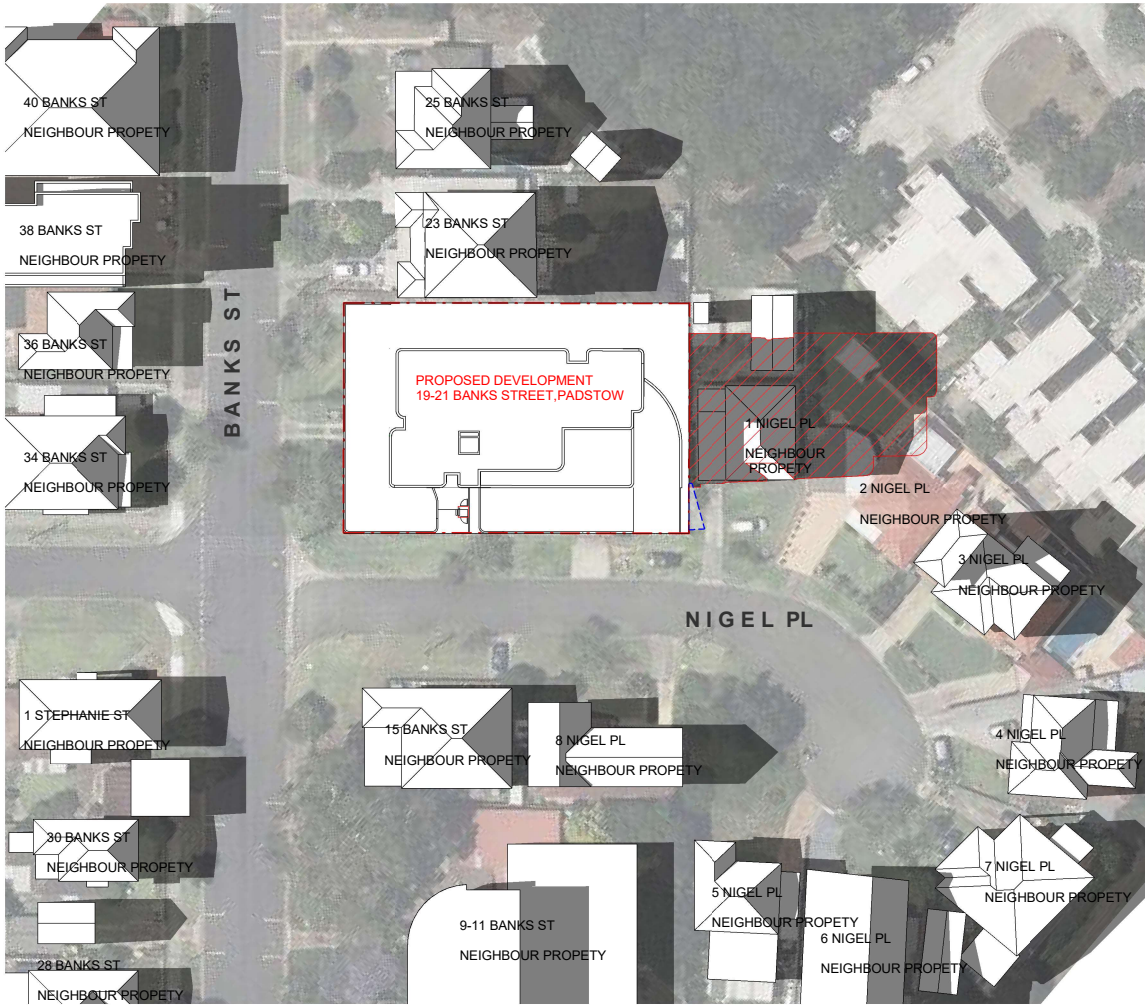
DA Submission

Job no. Drawing no. Rev.
J24638D DA5001 A

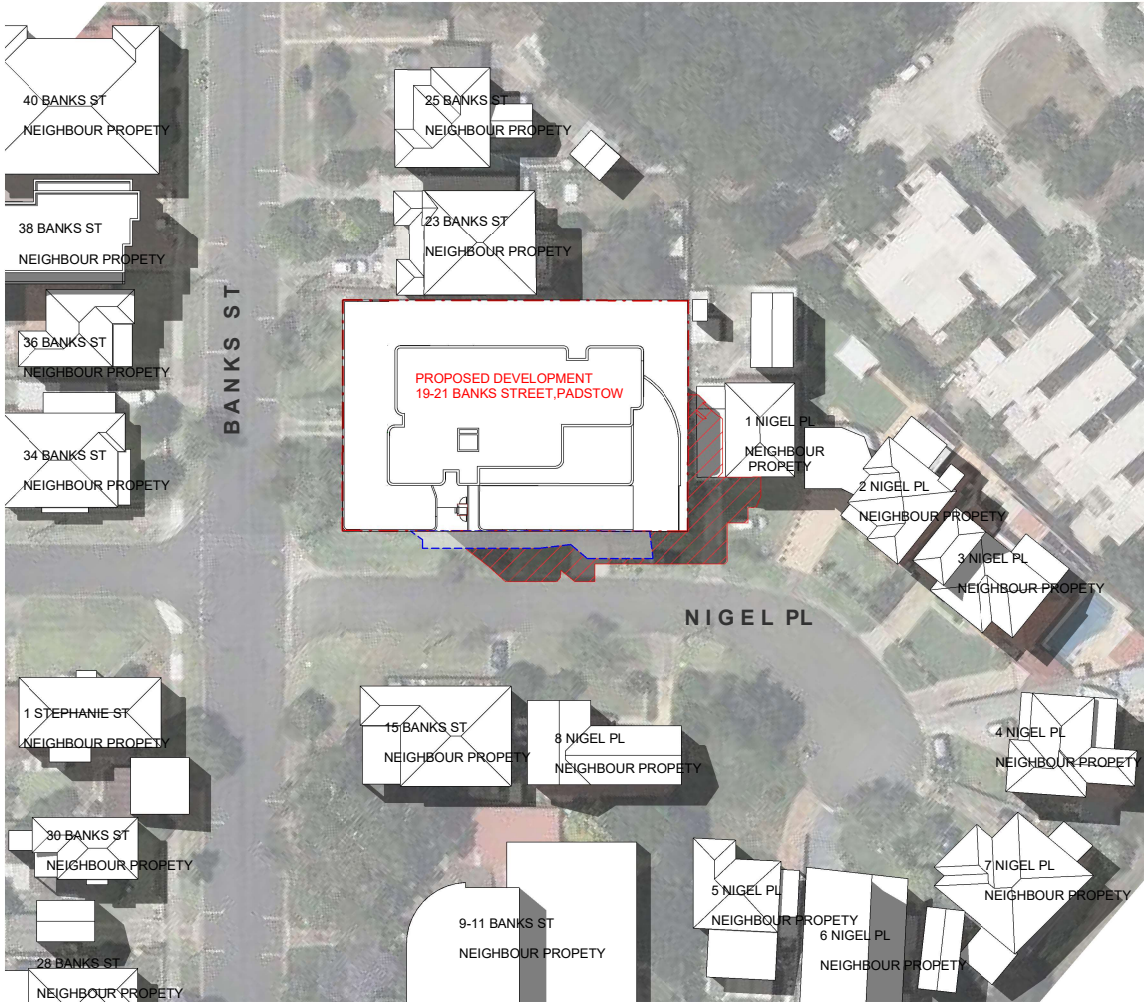
Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



2 SHADOW DIAGRAM - 9am,21 JUNE
1 : 500



1 SHADOW DIAGRAM - 3pm,21 JUNE
1 : 500



3 SHADOW DIAGRAM - 12pm,21 JUNE
1 : 500

References
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

SHADOW DIAGRAM LEGEND...
SHADOWS CAST BY PROPOSED BUILDING
SHADOWS CAST BY EXISTING BUILDING

A 22/05/2025 DA SUBMISSION
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0 1:100 at A1 1:200 at A3

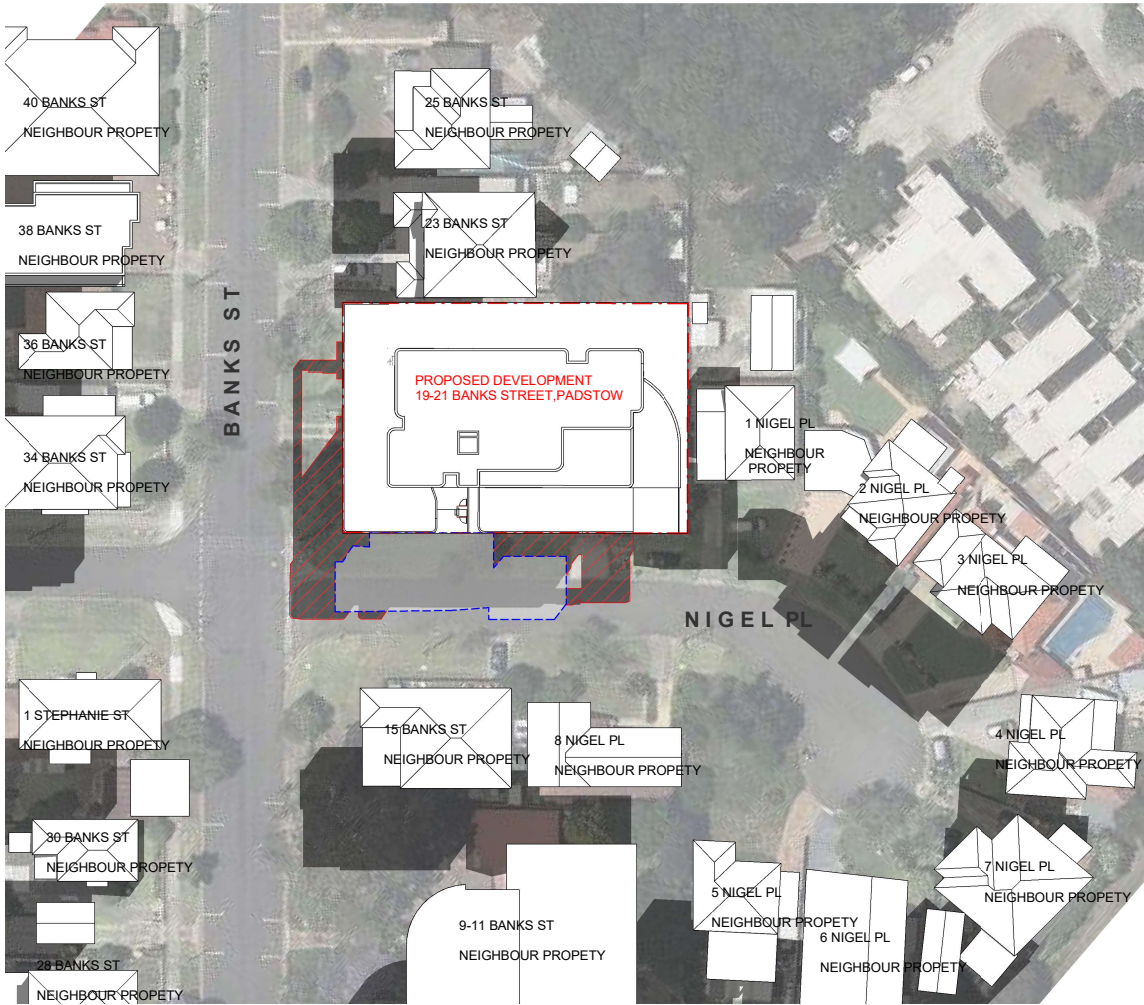
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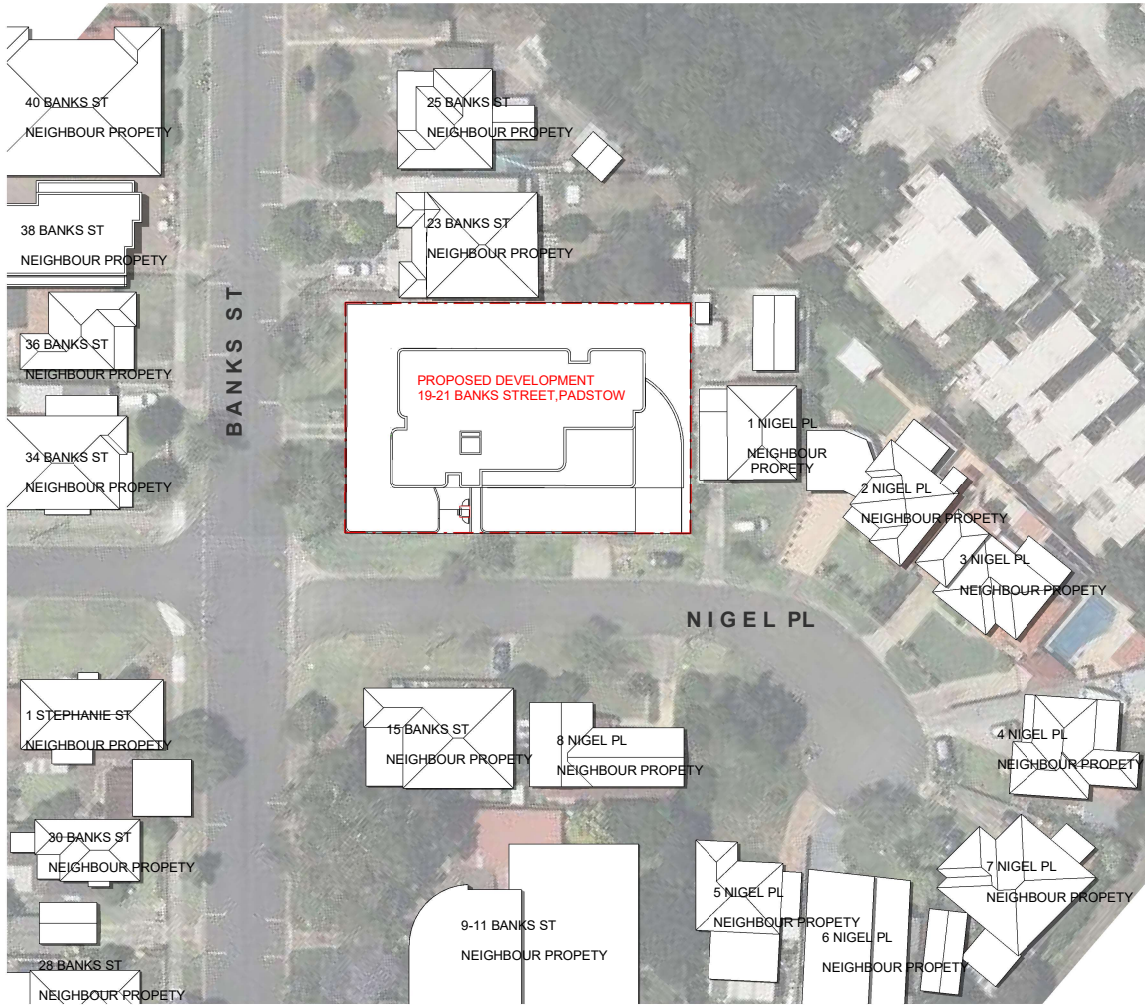
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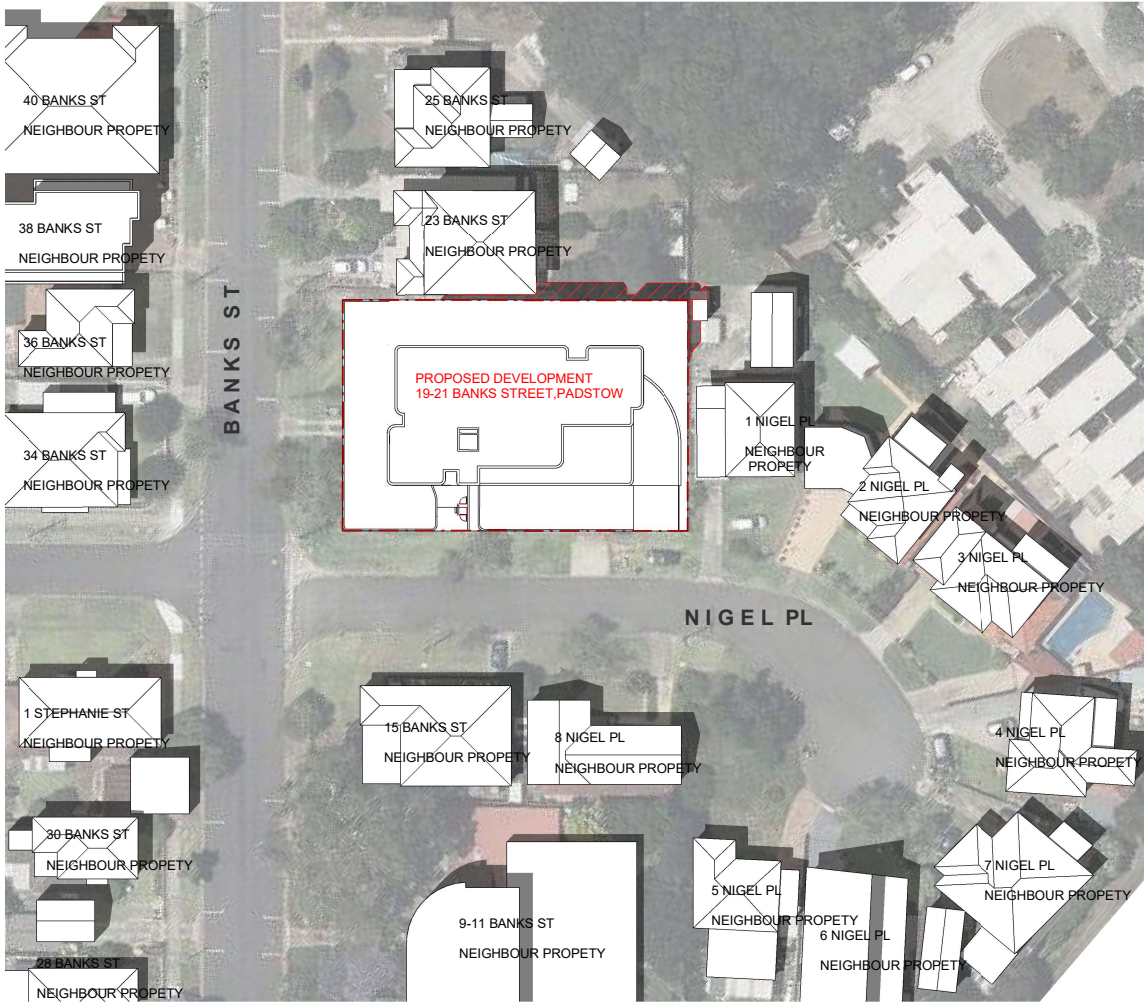
Project
PROPOSED CO-LIVING DEVELOPMENT
19-21 Banks Street Padstow 2211
Drawing Title
SHADOW DIAGRAMS
Project Stage
DA Submission
Job no. Drawing no. Rev.
J24638D DA6001 A
Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



1 SHADOW DIAGRAM - 9am,21 DECEMBER
1 : 500



2 SHADOW DIAGRAM - 12pm,21 DECEMBER
1 : 500



3 SHADOW DIAGRAM - 3pm,21 DECEMBER
1 : 500

References
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SHADOW DIAGRAM LEGEND...
SHADOWS CAST BY PROPOSED BUILDING
SHADOWS CAST BY EXISTING BUILDING

A 22/05/2025 DA SUBMISSION

m 1 2 4 6 8
0 1:100 at A1 1:200 at A3

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Project
PROPOSED CO-LIVING DEVELOPMENT
19-21 Banks Street Padstow 2211
Drawing Title
SHADOW DIAGRAMS
Project Stage
DA Submission
Job no. Drawing no. Rev.
J24638D DA6002 A
Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)

PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

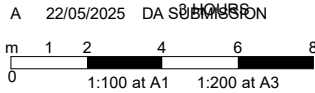
PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
4 HOURS	8 HOURS



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PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SUN ANGLE VIEWS 9AM - 21 JUNE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA6021 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



1 SUN EYE 9AM

SOLAR SCHEDULE							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
UG04							
UG05							
UG06							
UG07							
UG08							
UG09							
UG10							
UG11							
UG12							
U101							
U102							
U103							
U104							
U105							
U106							
U107							
U108							
U109							

SOLAR SCHEDULE							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
U111							
U112							
U113							
U114							
U115							
U201							
U202							
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U209							
U210							
U211							
U212							
U213							
U214							
U215							

SOLAR SCHEDULE							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
U305							
U306							
U307							
U308							
U309							
U310							

COS SOLAR ACCESS AREA					COS SOLAR ACCESS AREA				
Time	Area	C.O.S Required Area	%	Comply?	Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO	13PM	237 m²	348 m²	68.09	YES
10AM	174 m²	348 m²	49.99	NO	14PM	262 m²	348 m²	75.15	YES
11AM	165 m²	348 m²	47.37	NO	15PM	239 m²	348 m²	68.47	YES
12PM	207 m²	348 m²	59.47	YES					

References

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)
PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

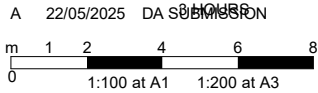
PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
4 HOURS	4 HOURS



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Project

PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SUN ANGLE VIEWS 10AM - 21 JUNE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA6022 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025

1 SUN EYE 10AM

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
UG04							
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U101							
U102							
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U107							
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U109							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
U111							
U112							
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U211							
U212							
U213							
U214							
U215							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
U305							
U306							
U307							
U308							
U309							
U310							

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO
10AM	174 m²	348 m²	49.99	NO
11AM	165 m²	348 m²	47.37	NO
12PM	207 m²	348 m²	59.47	YES

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
13PM	237 m²	348 m²	68.09	YES
14PM	262 m²	348 m²	75.15	YES
15PM	239 m²	348 m²	68.47	YES

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)

PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

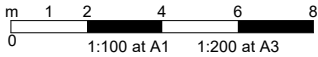
UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
---	----------------------------

4 HOURS A 22/05/2025 DA SUBMISSION



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Project
**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title

**SUN ANGLE VIEWS 11AM - 21
JUNE**

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA6023 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



1 SUN EYE 11AM

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
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UG12							
U101							
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U103							
U104							
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U106							
U107							
U108							
U109							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
U111							
U112							
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U115							
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U211							
U212							
U213							
U214							
U215							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
U305							
U306							
U307							
U308							
U309							
U310							

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO
10AM	174 m²	348 m²	49.99	NO
11AM	165 m²	348 m²	47.37	NO
12PM	207 m²	348 m²	59.47	YES

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
13PM	237 m²	348 m²	68.09	YES
14PM	262 m²	348 m²	75.15	YES
15PM	239 m²	348 m²	68.47	YES

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)

PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

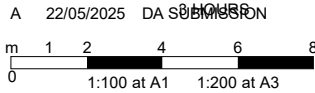
PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
4 HOURS	8 HOURS



Sydney

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Business Bay, Dubai, UAE

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W: cdarchitects.ae



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Project

PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SUN ANGLE VIEWS 12PM - 21 JUNE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA6024 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



1 SUN EYE 12PM

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
UG04							
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U108							
U109							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
U111							
U112							
U113							
U114							
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U210							
U211							
U212							
U213							
U214							
U215							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
U305							
U306							
U307							
U308							
U309							
U310							

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO
10AM	174 m²	348 m²	49.99	NO
11AM	165 m²	348 m²	47.37	NO
12PM	207 m²	348 m²	59.47	YES

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
13PM	237 m²	348 m²	68.09	YES
14PM	262 m²	348 m²	75.15	YES
15PM	239 m²	348 m²	68.47	YES

References
Any variations or deviations from approved construction drawings must be reviewed and approved by PCA or nominated certifying authority.

Drawings to be read in conjunction with, but not limited to, all structural engineers, stormwater engineers, landscape architects, fire protection, essential electrical services and mechanical services plans & other associated plans & reports.

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Notes
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)

PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

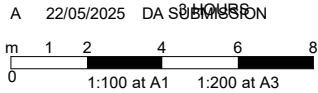
PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
4 HOURS	8 HOURS



Sydney
Level 2, 60 Park Street
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Project
**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title

**SUN ANGLE VIEWS 1PM - 21
JUNE**

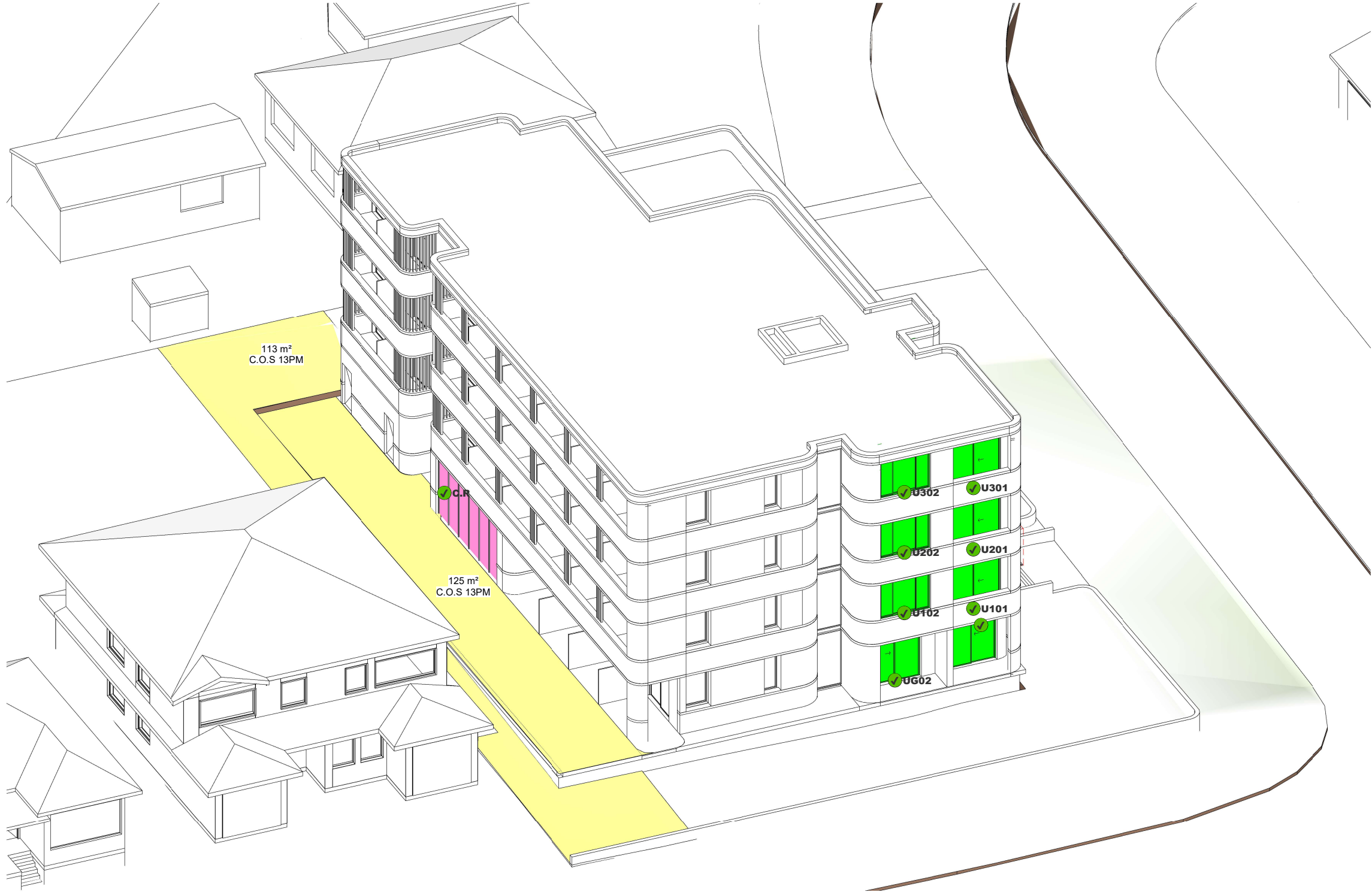
Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA6025 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



1 SUN EYE 13PM

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
UG04							
UG05							
UG06							
UG07							
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UG09							
UG10							
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UG12							
U101							
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U103							
U104							
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U106							
U107							
U108							
U109							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
U111							
U112							
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U115							
U201							
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U211							
U212							
U213							
U214							
U215							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
U305							
U306							
U307							
U308							
U309							
U310							

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO
10AM	174 m²	348 m²	49.99	NO
11AM	165 m²	348 m²	47.37	NO
12PM	207 m²	348 m²	59.47	YES

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
13PM	237 m²	348 m²	68.09	YES
14PM	262 m²	348 m²	75.15	YES
15PM	239 m²	348 m²	68.47	YES

References
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Notes
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)

PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

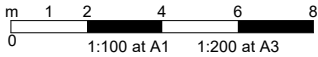
UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
---	----------------------------

4 HOURS 22/05/2025 DA SUBMISSION 4 HOURS



Sydney
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Sydney NSW 2000
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Project
**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title
**SUN ANGLE VIEWS 2PM - 21
JUNE**

Project Stage
DA Submission

Job no. Drawing no. Rev.

J24638D DA6026 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025



1 SUN EYE 14PM

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
UG04							
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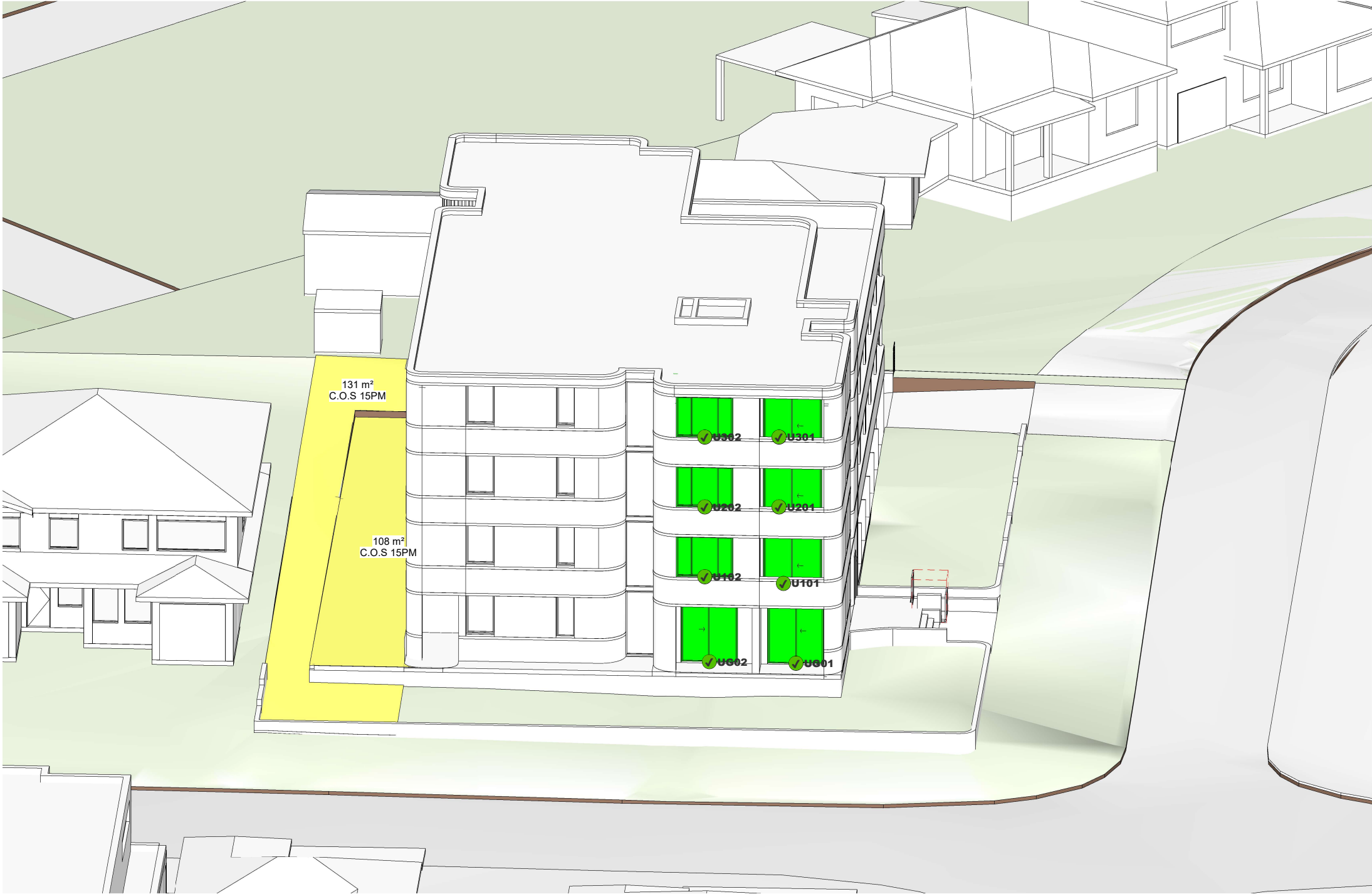
SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
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U215							

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
U305							
U306							
U307							
U308							
U309							
U310							

COS SOLAR ACCESS AREA					COS SOLAR ACCESS AREA				
Time	Area	C.O.S Required Area	%	Comply?	Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO	13PM	237 m²	348 m²	68.09	YES
10AM	174 m²	348 m²	49.99	NO	14PM	262 m²	348 m²	75.15	YES
11AM	165 m²	348 m²	47.37	NO	15PM	239 m²	348 m²	68.47	YES
12PM	207 m²	348 m²	59.47	YES					



References

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Notes

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

DIRECT SUN VIEW LEGEND (UNIT)

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED
52 UNITS	36 UNITS (70%)

PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
36 UNITS (70.0%)	16 UNITS (30.0%)

- LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

UNIT NUMBER

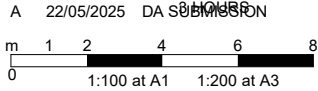
PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

UNIT NUMBER

PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS

DIRECT SUN VIEW LEGEND (COMMUNAL ROOM)

PROPOSED COMMUNAL ROOM RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	TARGET COMPLIANCE REQUIRED
4 HOURS	8 HOURS



Sydney
Level 2, 60 Park Street
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Project

PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SUN ANGLE VIEWS 3PM - 21 JUNE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA6027 A

Drawn by Checked by Approved by Date
RJ RJ APRIL, 2025

1 SUN EYE 15PM

SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
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SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U110							
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SOLAR SCHEDULE

UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U301							
U302							
U303							
U304							
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U309							
U310							

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
9AM	163 m²	348 m²	46.79	NO
10AM	174 m²	348 m²	49.99	NO
11AM	165 m²	348 m²	47.37	NO
12PM	207 m²	348 m²	59.47	YES

COS SOLAR ACCESS AREA

Time	Area	C.O.S Required Area	%	Comply?
13PM	237 m²	348 m²	68.09	YES
14PM	262 m²	348 m²	75.15	YES
15PM	239 m²	348 m²	68.47	YES

SOLAR SCHEDULE							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
C.R							
UG01							
UG02							
UG03							
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Notes

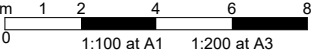
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Nominated Architect: Liljana Emilova 7687, ABN 24 243 205 327

A 22/05/2025 DA SUBMISSION



CDArchitects



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Project

PROPOSED CO-LIVING
DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

SOLAR SCHEDULE

Project Stage

DA Submission

Job no. Drawing no. Rev.
J24638D DA6028 A

Drawn by Checked by Approved by Date
XX XX LE APRIL, 2025

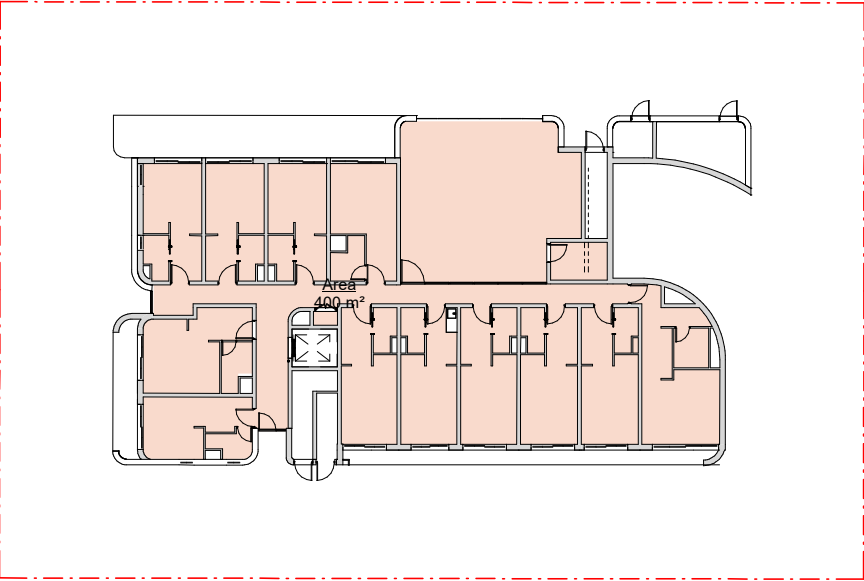
RESIDENTIAL UNIT SCHEDULE

ROOM TYPE	UNIT NUMBER	NET AREA	Level
SINGLE B.R.	UG01	19 m²	GROUND FLOOR PLAN
SINGLE B.R.	UG04	19 m²	GROUND FLOOR PLAN
SINGLE B.R.	UG05	19 m²	GROUND FLOOR PLAN
SINGLE B.R.	U103	21 m²	LEVEL 1 FLOOR PLAN
SINGLE B.R.	U104	20 m²	LEVEL 1 FLOOR PLAN
SINGLE B.R.	U203	21 m²	LEVEL 2 FLOOR PLAN
SINGLE B.R.	U204	20 m²	LEVEL 2 FLOOR PLAN
SINGLE B.R.	U303	21 m²	LEVEL 3 FLOOR PLAN
SINGLE B.R.	U304	20 m²	LEVEL 3 FLOOR PLAN
MANAGER B.R.	UG03	19 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG02	24 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG06	22 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG07	25 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG08	22 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG09	22 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG10	21 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG11	21 m²	GROUND FLOOR PLAN
DOUBLE B.R.	UG12	21 m²	GROUND FLOOR PLAN
DOUBLE B.R.	U101	20 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U105	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U106	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U107	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U108	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U109	23 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U110	21 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U111	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U112	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U113	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U114	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U115	22 m²	LEVEL 1 FLOOR PLAN
DOUBLE B.R.	U201	20 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U205	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U206	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U207	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U208	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U209	23 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U210	21 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U211	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U212	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U213	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U214	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U215	22 m²	LEVEL 2 FLOOR PLAN
DOUBLE B.R.	U301	20 m²	LEVEL 3 FLOOR PLAN
DOUBLE B.R.	U305	22 m²	LEVEL 3 FLOOR PLAN
DOUBLE B.R.	U306	22 m²	LEVEL 3 FLOOR PLAN
DOUBLE B.R.	U307	22 m²	LEVEL 3 FLOOR PLAN
DOUBLE B.R.	U308	22 m²	LEVEL 3 FLOOR PLAN
DOUBLE B.R.	U309	23 m²	LEVEL 3 FLOOR PLAN
DOUBLE B.R.	U310	21 m²	LEVEL 3 FLOOR PLAN
ADP.DOUBLE B.R.	U102	29 m²	LEVEL 1 FLOOR PLAN
ADP.DOUBLE B.R.	U202	29 m²	LEVEL 2 FLOOR PLAN
ADP.DOUBLE B.R.	U302	29 m²	LEVEL 3 FLOOR PLAN
Grand total: 52			

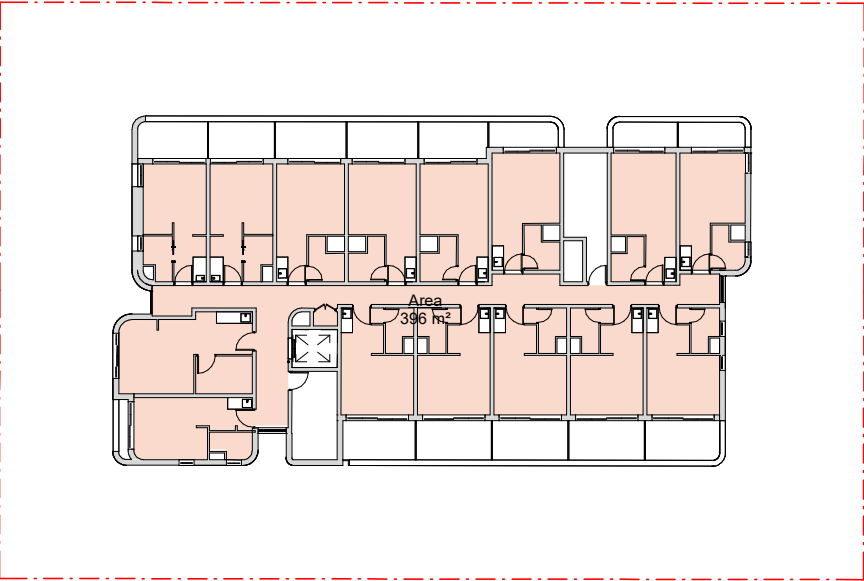
GFA AREA SCHEDULE	
GROUND FLOOR PLAN	400 m²
LEVEL 1 FLOOR PLAN	395 m²
LEVEL 2 FLOOR PLAN	396 m²
LEVEL 3 FLOOR PLAN	340 m²
TOTAL	1531 m²

AREA CALCULATIONS - FLOOR SPACE RATIO

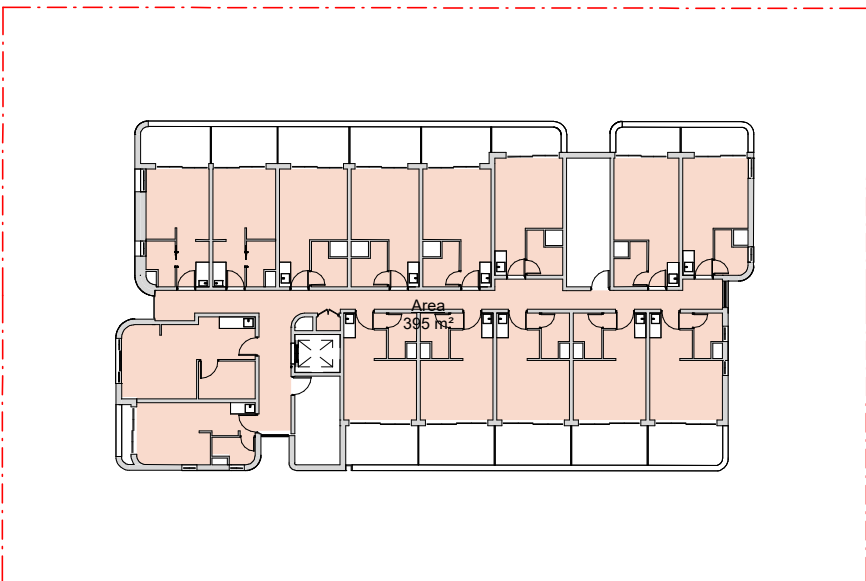
ZONE	R4	
SITE AREA	1393.546m²	
PERMISSIBLE FLOOR SPACE RATIO	1.1:1	(WITH 10% BONUS)
PERMISSIBLE GFA	1532.9m²	
PROPOSED FLOOR SPACE RATIO	1.099:1	
TOTAL GFA	1531m²	



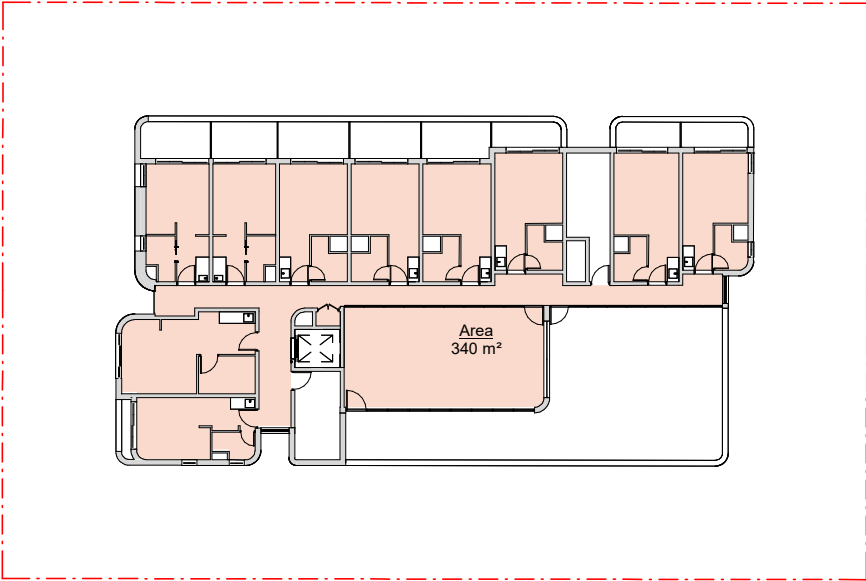
1 GROUND FLOOR PLAN
1 : 200



3 LEVEL 2 FLOOR PLAN
1 : 200



2 LEVEL 1 FLOOR PLAN
1 : 200



4 LEVEL 3 FLOOR PLAN
1 : 200

References

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Notes

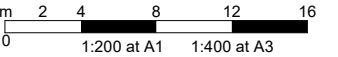
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Project

PROPOSED CO-LIVING
DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

GFA CALCULATION

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA7001 A

Drawn by Checked by Approved by Date

. RJ RJ APRIL, 2025

References

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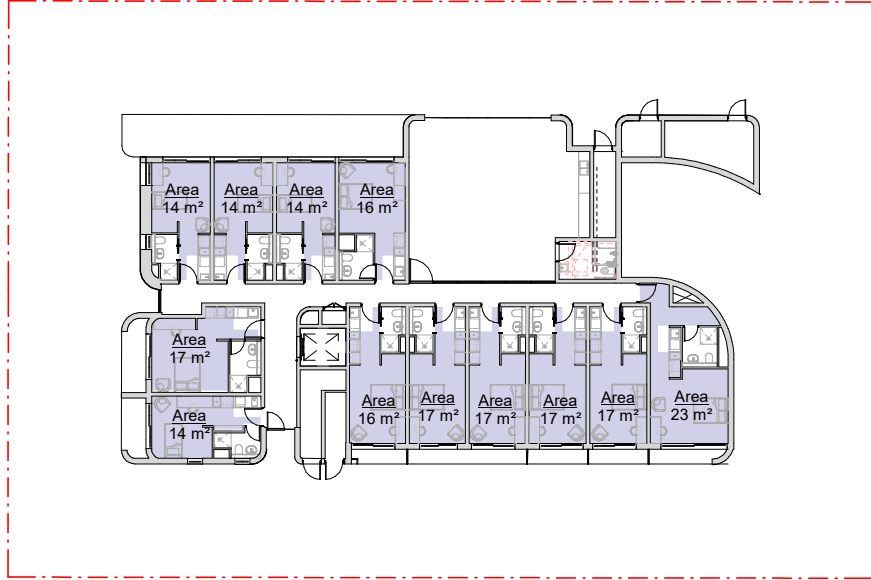
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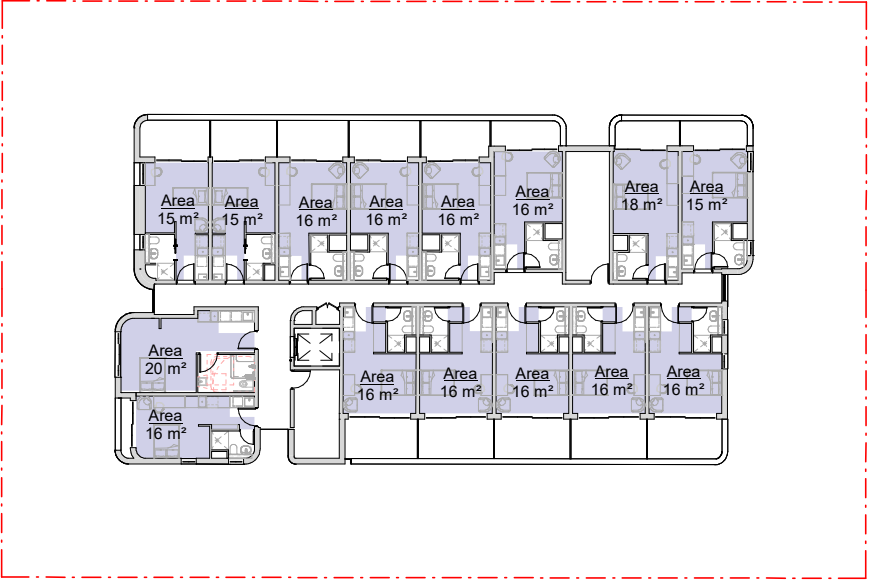
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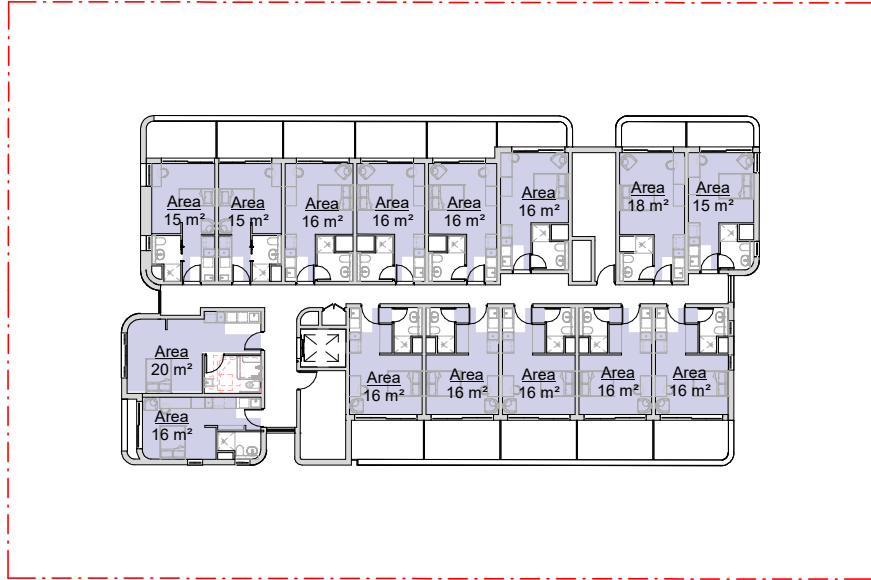
Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327



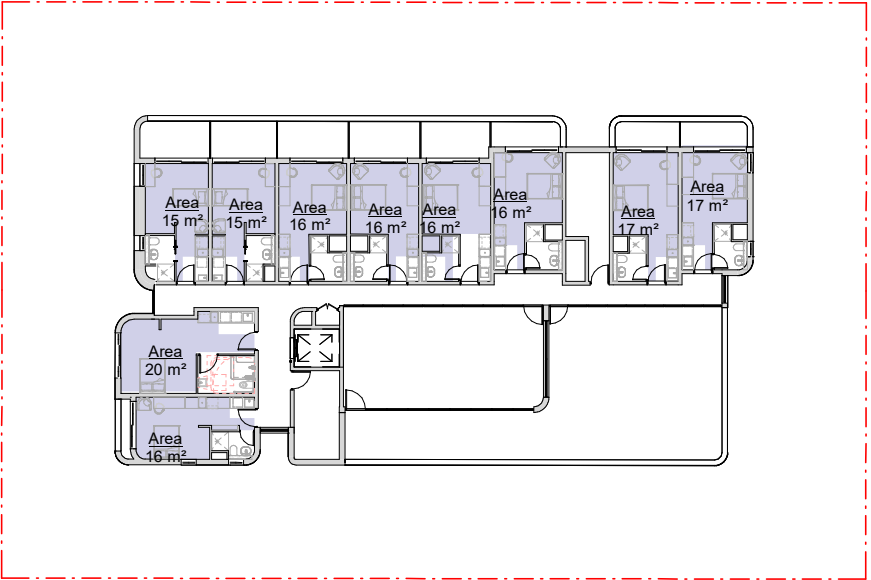
1 **GROUND FLOOR PLAN**
1 : 200



2 **LEVEL 1 FLOOR PLAN**
1 : 200



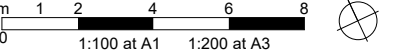
3 **LEVEL 2 FLOOR PLAN**
1 : 200



4 **LEVEL 3 FLOOR PLAN**
1 : 200

ROOM AREA SCHEDULE			ROOM AREA SCHEDULE		
ROOM NUMBER	Area	ROOM TYPE	ROOM NUMBER	Area	ROOM TYPE
U101	16 m²	DOUBLE B.R	U212	16 m²	DOUBLE B.R
U102	20 m²	ADP.DOUBL E.B.R	U213	16 m²	DOUBLE B.R
U103	15 m²	SINGLE B.R	U214	16 m²	DOUBLE B.R
U104	15 m²	SINGLE B.R	U215	16 m²	DOUBLE B.R
U105	16 m²	DOUBLE B.R	U301	16 m²	DOUBLE B.R
U106	16 m²	DOUBLE B.R	U302	20 m²	ADP.DOUBL E.B.R
U107	16 m²	DOUBLE B.R	U303	15 m²	SINGLE B.R
U108	16 m²	DOUBLE B.R	U304	15 m²	SINGLE B.R
U109	18 m²	DOUBLE B.R	U305	16 m²	DOUBLE B.R
U110	15 m²	DOUBLE B.R	U306	16 m²	DOUBLE B.R
U111	16 m²	DOUBLE B.R	U307	16 m²	DOUBLE B.R
U112	16 m²	DOUBLE B.R	U308	16 m²	DOUBLE B.R
U113	16 m²	DOUBLE B.R	U309	17 m²	DOUBLE B.R
U114	16 m²	DOUBLE B.R	U310	17 m²	DOUBLE B.R
U115	16 m²	DOUBLE B.R	UG01	14 m²	SINGLE B.R
U201	16 m²	DOUBLE B.R	UG02	17 m²	DOUBLE B.R
U202	20 m²	ADP.DOUBL E.B.R	UG03	14 m²	MANAGER B.R
U203	15 m²	SINGLE B.R	UG04	14 m²	SINGLE B.R
U204	15 m²	SINGLE B.R	UG05	14 m²	SINGLE B.R
U205	16 m²	DOUBLE B.R	UG06	16 m²	DOUBLE B.R
U206	16 m²	DOUBLE B.R	UG09	17 m²	DOUBLE B.R
U207	16 m²	DOUBLE B.R	UG09	17 m²	DOUBLE B.R
U208	16 m²	DOUBLE B.R	UG09	23 m²	DOUBLE B.R
U209	18 m²	DOUBLE B.R	UG10	17 m²	DOUBLE B.R
U210	15 m²	DOUBLE B.R	UG11	17 m²	DOUBLE B.R
U211	16 m²	DOUBLE B.R	UG12	16 m²	DOUBLE B.R

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Project

**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title

ROOM AREA CALCULATION

Project Stage

DA Submission

Job no. Drawing no. Rev.

J24638D DA7002 A

Drawn by Checked by Approved by Date

RJ RJ APRIL, 2025



2 3D VIEW 1



1 3D VIEW 2

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

MATERIAL LEGEND...

AWD1	DARK GREY ALUMINIUM FRAME WINDOWS & DOORS - COLOUR
BR1	BROWN BRICK
BR2	LIGHT BEIGE BRICK
G1	CLEAR GLASS
RP1	RENDERED PAIN DULUX WHISPER WHITE
RP2	BLACK . DULUX MONUMENT

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Project
PROPOSED CO-LIVING DEVELOPMENT

19-21 Banks Street Padstow 2211

Drawing Title

3D VIEWS

Project Stage

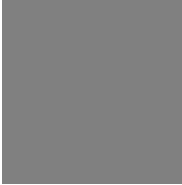
DA Submission

Job no. Drawing no. Rev.
J24638D DA7031 A

Drawn by Checked by Approved by Date
. RJ RJ APRIL, 2025



1 FINISHES SCHEDULE



AWD1
DARK GREY ALUMINIUM
FRAME WINDOWS &
DOORS - COLOUR



BR1
BROWN BRICK



BR2
LIGHT BEIGE BRICK



G1
CLEAR GLASS



RP1
RENDERED PAIN DULUX
WHISPER WHITE



RP2
BLACK . DULUX
MONUMENT

References
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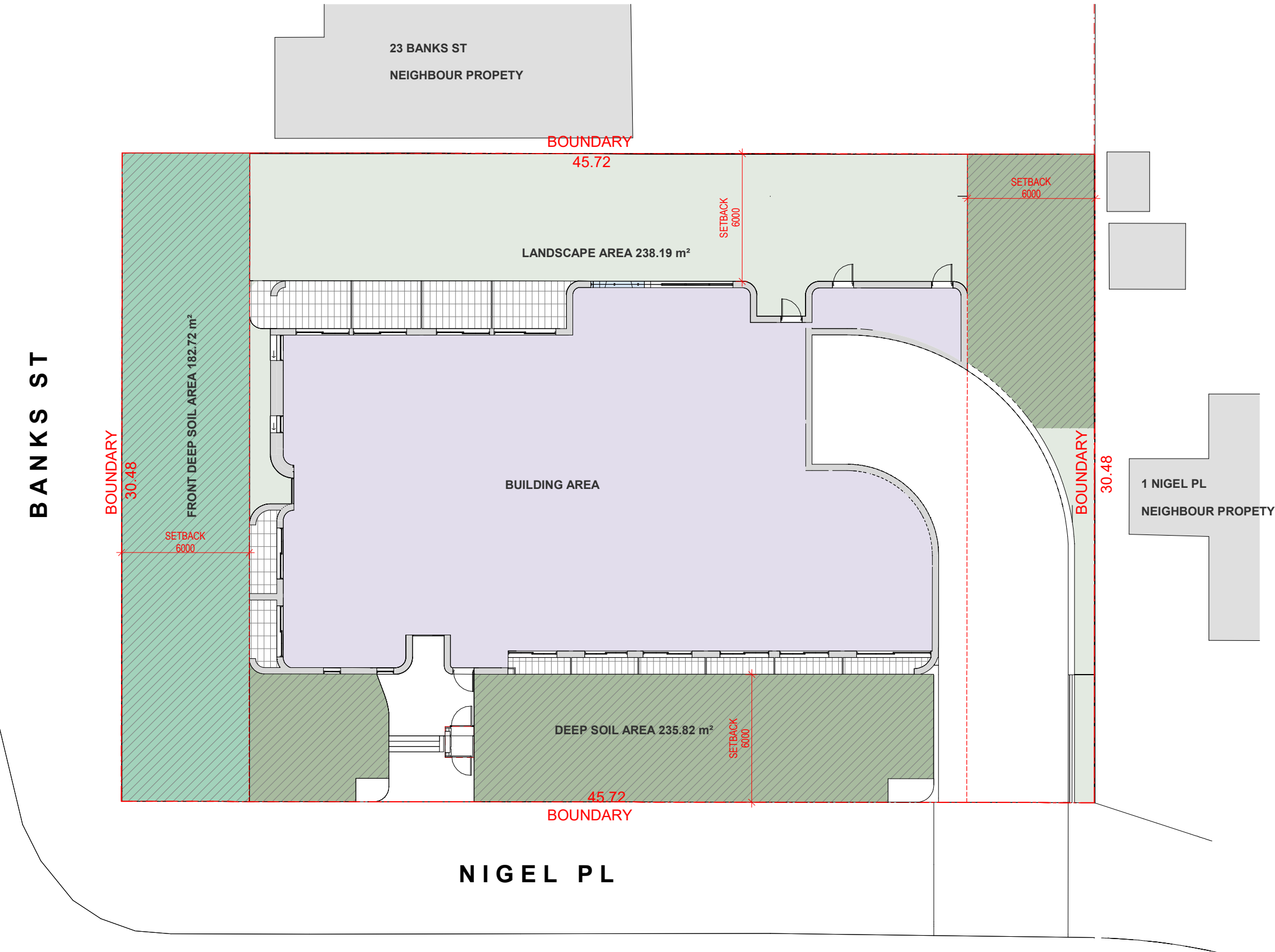


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**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211
Drawing Title
FINISHES SCHEDULE

Project Stage
DA Submission
Job no. Drawing no. Rev.
J24638D DA7041 A
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

- LEGEND**
- BUILDING AREA
 - LANDSCAPE AREA
 - 50% OF DEEP SOIL ZONE AREA
 - FRONT SETBACK DEEP SOIL ZONE AREA
 - REAR SETBACK DEEP SOIL ZONE AREA

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m 1 2 4 6 8

0 1:100 at A1 1:200 at A3

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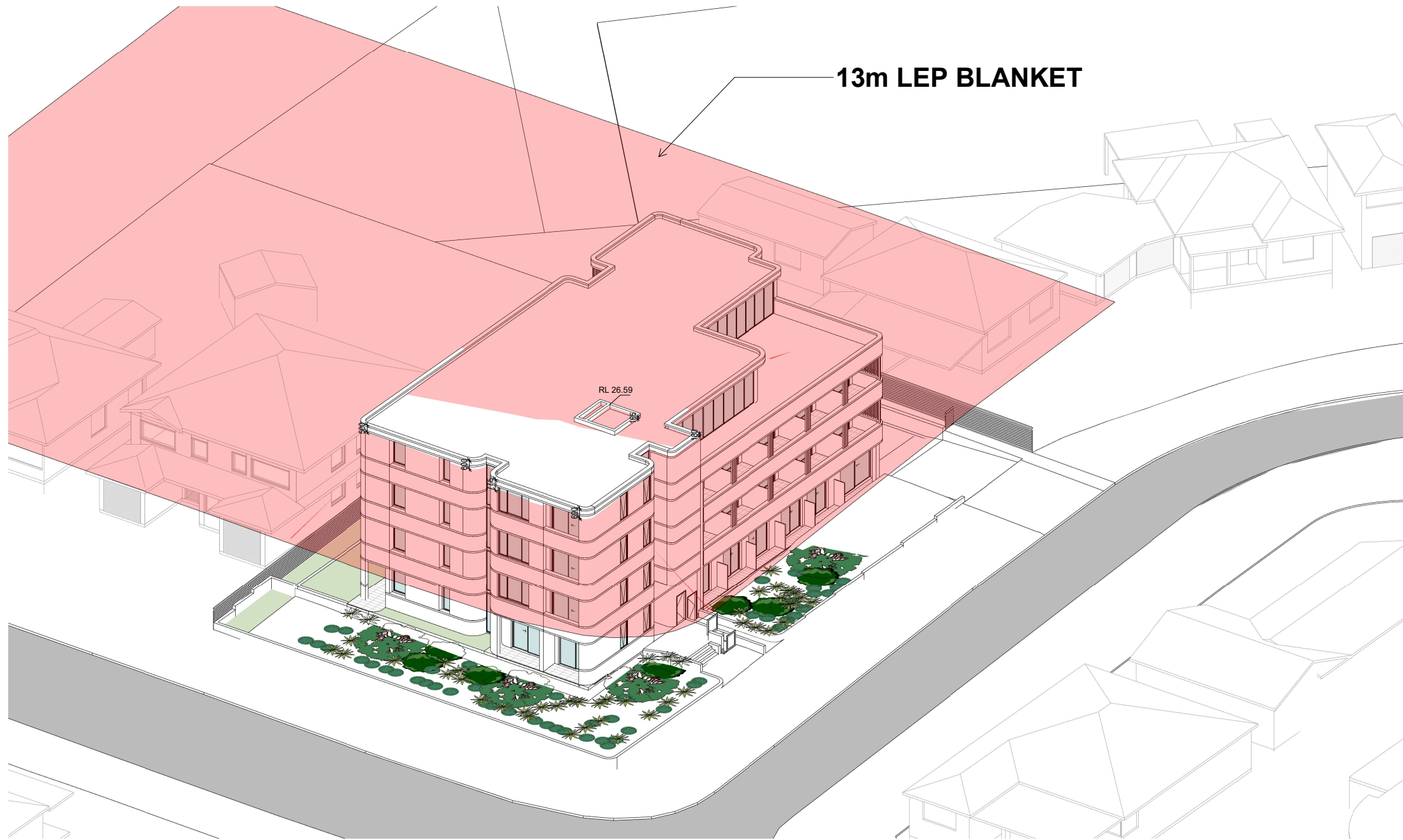
Project
**PROPOSED CO-LIVING
DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title
DEEP SOIL ZONE

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J24638D	DA7051	A
Drawn by	Checked by	Approved by Date
.	RJ	RJ APRIL 2025



1 LEP BLANKET

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DEVELOPMENT**

19-21 Banks Street Padstow 2211

Drawing Title
LEP HEIGHT BLANKET

Project Stage
DA Submission
Job no. Drawing no. Rev.
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